



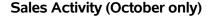
Kootenay Association of REALTORS® Residential Market Activity October 2020

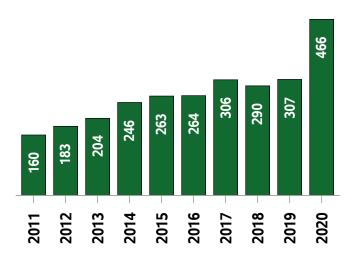




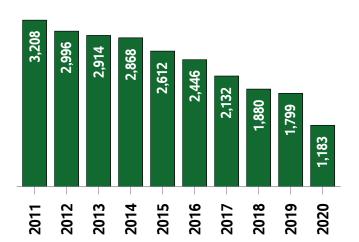
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MLS® Residential Market Activity

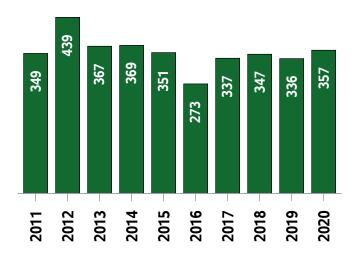




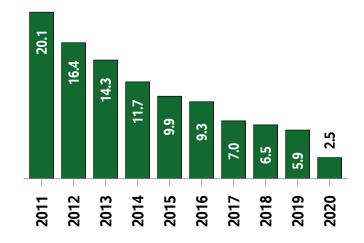
Active Listings (October only)



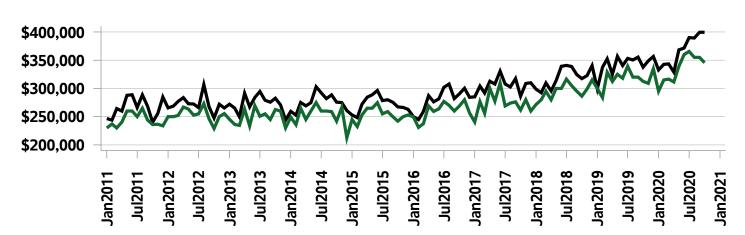
New Listings (October only)



Months of Inventory (October only)



Average Price and Median Price

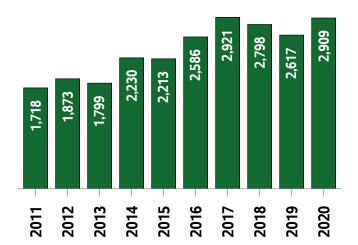




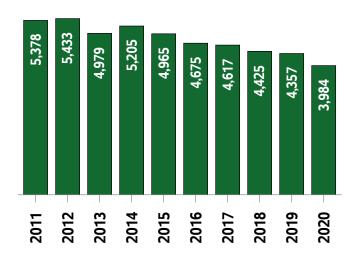


MLS® Residential Market Activity

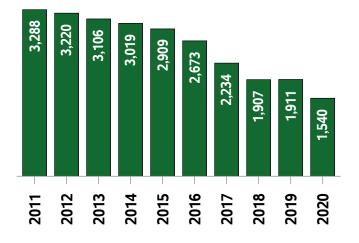




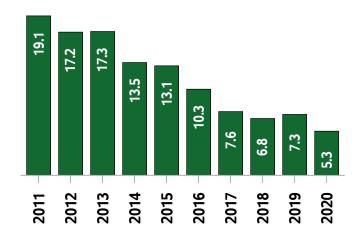
New Listings (October Year-to-date)



Active Listings ¹ (October Year-to-date)



Months of Inventory ² (October Year-to-date)



¹ The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year

² Average active listings January to the current month/average of sales January to the current month





MLS® Residential Market Activity

				Compa	red to ⁶		
Actual	October 2020	October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Sales Activity	466	51.8	60.7	52.3	77.2	128.4	232.9
Dollar Volume	\$186,173,806	79.6	102.3	112.5	164.9	222.9	370.8
New Listings	357	6.3	2.9	5.9	1.7	-2.7	-16.4
Active Listings	1,183	-34.2	-37.1	-44.5	-54.7	-59.4	-62.4
Sales to New Listings Ratio 1	130.5	91.4	83.6	90.8	74.9	55.6	32.8
Months of Inventory 2	2.5	5.9	6.5	7.0	9.9	14.3	22.5
Average Price	\$399,515	18.3	25.9	39.6	49.5	41.3	41.4
Median Price	\$345,500	10.6	20.7	32.0	42.8	31.6	31.4
Sales to List Price Ratio	96.9	95.5	95.4	95.1	94.1	94.3	94.0
Median Days on Market	44.5	70.0	68.0	76.5	99.0	107.5	80.5
				<u> </u>	red to ⁶		
Year-to-date	October 2020	October 2019	October 2018	<u> </u>	<u> </u>	October 2013	October 2010
	October	October	October	Compa	ored to 6	October	October
Year-to-date	October 2020	October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Year-to-date Sales Activity	October 2020 2,909	October 2019 11.2	October 2018 4.0	October 2017	October 2015	October 2013 61.7	October 2010 64.1
Year-to-date Sales Activity Dollar Volume	October 2020 2,909 \$1,099,863,564	October 2019 11.2 22.3	October 2018 4.0 22.7	October 2017 -0.4 22.7	October 2015 31.5 79.3	October 2013 61.7 119.1	October 2010 64.1 125.8
Year-to-date Sales Activity Dollar Volume New Listings	October 2020 2,909 \$1,099,863,564 3,984	October 2019 11.2 22.3 -8.6	October 2018 4.0 22.7 -10.0	October 2017 -0.4 22.7 -13.7	October 2015 31.5 79.3 -19.8	October 2013 61.7 119.1 -20.0	October 2010 64.1 125.8 -32.1
Year-to-date Sales Activity Dollar Volume New Listings Active Listings	October 2020 2,909 \$1,099,863,564 3,984 1,540	October 2019 11.2 22.3 -8.6 -19.4	October 2018 4.0 22.7 -10.0 -19.2	October 2017 -0.4 22.7 -13.7 -31.0	October 2015 31.5 79.3 -19.8 -47.1	October 2013 61.7 119.1 -20.0 -50.4	October 2010 64.1 125.8 -32.1 -53.5
Year-to-date Sales Activity Dollar Volume New Listings Active Listings Sales to New Listings Ratio 4	October 2020 2,909 \$1,099,863,564 3,984 1,540 73.0	October 2019 11.2 22.3 -8.6 -19.4 60.1	October 2018 4.0 22.7 -10.0 -19.2 63.2	October 2017 -0.4 22.7 -13.7 -31.0 63.3	October 2015 31.5 79.3 -19.8 -47.1 44.6	October 2013 61.7 119.1 -20.0 -50.4 36.1	October 2010 64.1 125.8 -32.1 -53.5 30.2
Year-to-date Sales Activity Dollar Volume New Listings Active Listings Sales to New Listings Ratio 4 Months of Inventory 5	October 2020 2,909 \$1,099,863,564 3,984 1,540 73.0 5.3	October 2019 11.2 22.3 -8.6 -19.4 60.1 7.3	October 2018 4.0 22.7 -10.0 -19.2 63.2 6.8	October 2017 -0.4 22.7 -13.7 -31.0 63.3 7.6	October 2015 31.5 79.3 -19.8 -47.1 44.6 13.1	October 2013 61.7 119.1 -20.0 -50.4 36.1 17.3	October 2010 64.1 125.8 -32.1 -53.5 30.2 18.7
Year-to-date Sales Activity Dollar Volume New Listings Active Listings Sales to New Listings Ratio Months of Inventory Average Price	October 2020 2,909 \$1,099,863,564 3,984 1,540 73.0 5.3 \$378,090	October 2019 11.2 22.3 -8.6 -19.4 60.1 7.3 10.0	October 2018 4.0 22.7 -10.0 -19.2 63.2 6.8 18.1	October 2017 -0.4 22.7 -13.7 -31.0 63.3 7.6 23.2	October 2015 31.5 79.3 -19.8 -47.1 44.6 13.1 36.4	October 2013 61.7 119.1 -20.0 -50.4 36.1 17.3 35.5	October 2010 64.1 125.8 -32.1 -53.5 30.2 18.7 37.6

Sales / new listings * 100; Compared to levels from previous periods.

Source: Canadian MLS® Systems, CREA

Active listings at month end / monthly sales; Compared to levels from previous periods.

The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year.

Sum of sales from January to current month / sum of new listings from January to current month.

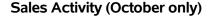
⁵ The year-to-date months of inventory figure is calculated as: average active listings from January to current month / average sales from January to current month.

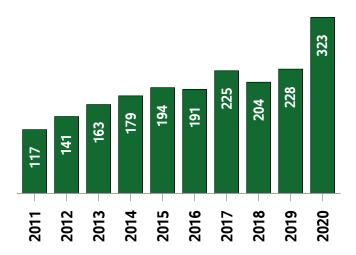
⁶ Sales to new listings ratio, months of inventory and median days on market shown as levels; all others calculated as percentage changes.



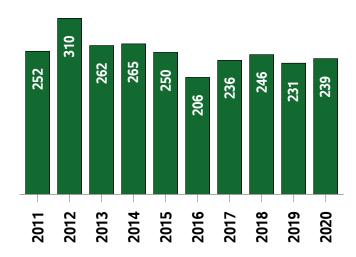


MLS® Single Family Market Activity



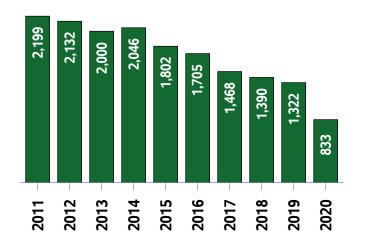


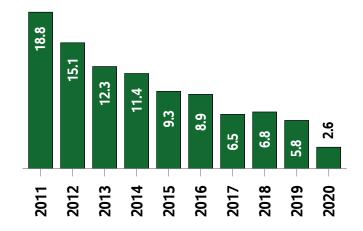
Active Listings (October only)



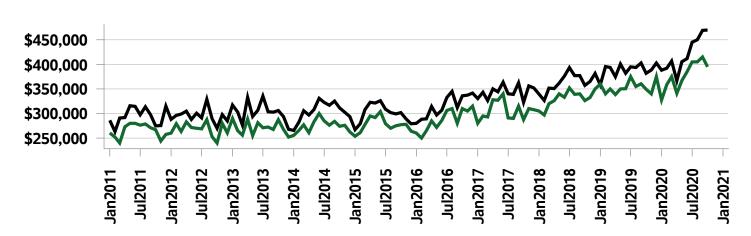
New Listings (October only)

Months of Inventory (October only)





Average Price and Median Price

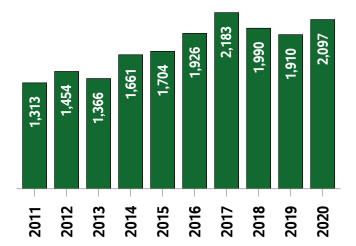




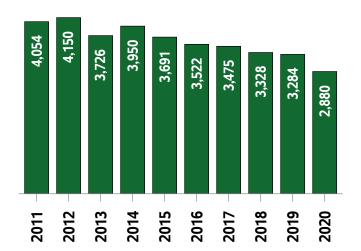


MLS® Single Family Market Activity

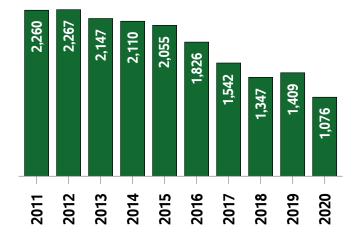
Sales Activity (October Year-to-date)



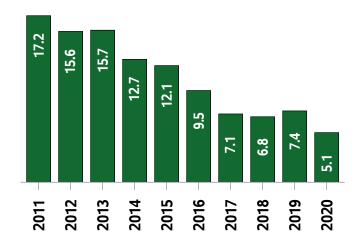
New Listings (October Year-to-date)



Active Listings ¹ (October Year-to-date)



Months of Inventory ² (October Year-to-date)



¹ The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year

² Average active listings January to the current month/average of sales January to the current month





MLS® Single Family Market Activity

				Compa	red to ⁶		
Actual	October 2020	October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Sales Activity	323	41.7	58.3	43.6	66.5	98.2	178.4
Dollar Volume	\$151,751,579	74.4	108.3	109.0	159.2	204.2	348.5
New Listings	239	3.5	-2.8	1.3	-4.4	-8.8	-10.2
Active Listings	833	-37.0	-40.1	-43.3	-53.8	-58.4	-61.5
Sales to New Listings Ratio 1	135.1	98.7	82.9	95.3	77.6	62.2	43.6
Months of Inventory 2	2.6	5.8	6.8	6.5	9.3	12.3	18.7
Average Price	\$469,819	23.1	31.5	45.6	55.7	53.5	61.1
Median Price	\$395,000	13.1	21.1	37.4	42.5	37.4	43.9
Sales to List Price Ratio	96.9	95.7	95.5	95.4	94.2	94.6	94.3
Median Days on Market	46.0	71.5	62.0	74.0	96.5	103.0	77.0
				Compa	red to '		
Year-to-date	October 2020	October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Sales Activity	2,097	9.8	5.4	-3.9	23.1	53.5	55.8
Dollar Volume	\$912,860,860	22.6	25.6	21.5	74.5	115.8	125.9
New Listings	2.000						
	2,880	-12.3	-13.5	-17.1	-22.0	-22.7	-33.7
Active Listings ³	1,076	-12.3 -23.6	-13.5 -20.1	-17.1 -30.2	-22.0 -47.6	-22.7 -49.9	-33.7 -53.8
Active Listings ³ Sales to New Listings Ratio ⁴							
	1,076	-23.6	-20.1	-30.2	-47.6	-49.9	-53.8
Sales to New Listings Ratio 4	1,076 72.8	-23.6 58.2	-20.1 59.8	-30.2 62.8	-47.6 46.2	-49.9 36.7	-53.8 31.0
Sales to New Listings Ratio ⁴ Months of Inventory ⁵	1,076 72.8 5.1	-23.6 58.2 7.4	-20.1 59.8 6.8	-30.2 62.8 7.1	-47.6 46.2 12.1	-49.9 36.7 15.7	-53.8 31.0 17.3
Sales to New Listings Ratio ⁴ Months of Inventory ⁵ Average Price	1,076 72.8 5.1 \$435,318	-23.6 58.2 7.4 11.7	-20.1 59.8 6.8 19.2	-30.2 62.8 7.1 26.5	-47.6 46.2 12.1 41.8	-49.9 36.7 15.7 40.6	-53.8 31.0 17.3 45.0

Sales / new listings * 100; Compared to levels from previous periods.

Source: Canadian MLS® Systems, CREA

Active listings at month end / monthly sales; Compared to levels from previous periods.

The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year.

Sum of sales from January to current month / sum of new listings from January to current month.

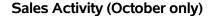
The year-to-date months of inventory figure is calculated as: average active listings from January to current month / average sales from January to current month.

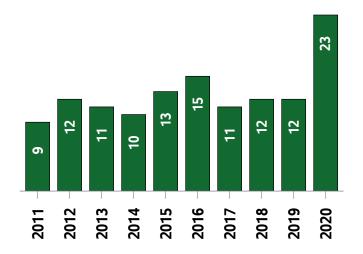
⁶ Sales to new listings ratio, months of inventory and median days on market shown as levels; all others calculated as percentage changes.



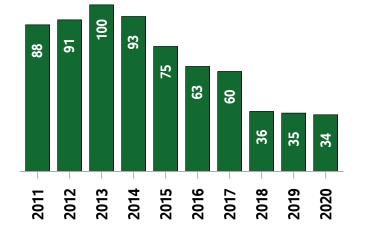
Castlegar MLS® Residential Market Activity



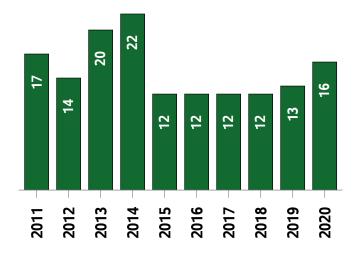




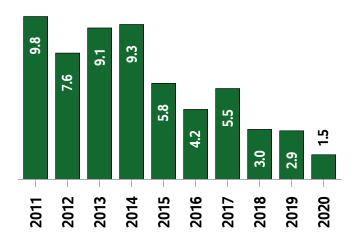
Active Listings (October only)



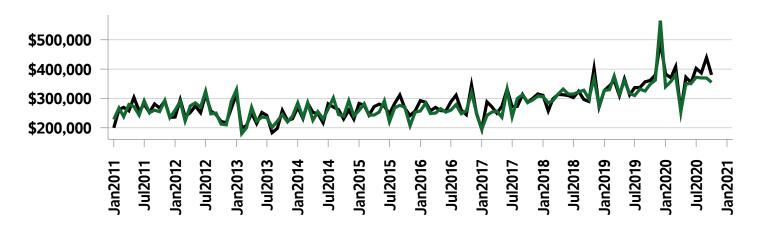
New Listings (October only)



Months of Inventory (October only)



Average Price and Median Price

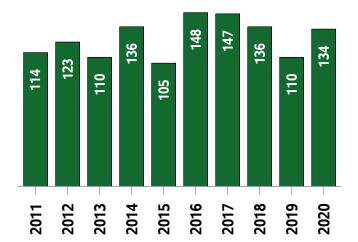




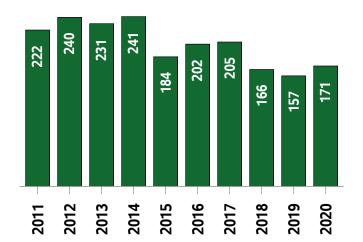
Castlegar MLS® Residential Market Activity



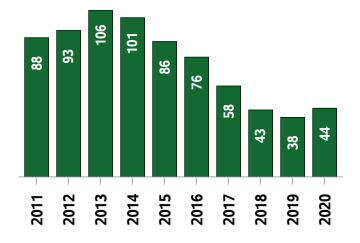




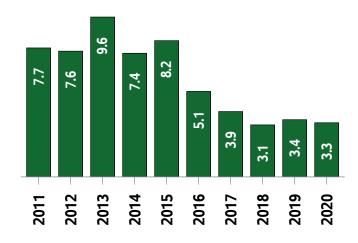
New Listings (October Year-to-date)



Active Listings 1 (October Year-to-date)



Months of Inventory ² (October Year-to-date)



¹ The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year

² Average active listings January to the current month/average of sales January to the current month



Castlegar MLS® Residential Market Activity



				Compa	red to ⁶		
Actual	October 2020	October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Sales Activity	23	91.7	91.7	109.1	76.9	109.1	666.7
Dollar Volume	\$8,749,446	101.8	151.5	177.6	152.3	206.7	854.1
New Listings	16	23.1	33.3	33.3	33.3	-20.0	-20.0
Active Listings	34	-2.9	-5.6	-43.3	-54.7	-66.0	-62.6
Sales to New Listings Ratio 1	143.8	92.3	100.0	91.7	108.3	55.0	15.0
Months of Inventory ²	1.5	2.9	3.0	5.5	5.8	9.1	30.3
Average Price	\$380,411	5.3	31.2	32.8	42.6	46.7	24.5
Median Price	\$355,000	1.9	18.5	24.1	31.5	44.9	29.1
Sales to List Price Ratio	98.4	98.9	97.4	96.2	96.2	95.0	97.6
Median Days on Market	53.0	30.5	48.5	69.0	67.0	61.0	80.0
		Compared to 6					
				Compa	red to °		
Year-to-date	October 2020	October 2019	October 2018	Compa October 2017	October 2015	October 2013	October 2010
Year-to-date Sales Activity				October	October		
	2020	2019	2018	October 2017	October 2015	2013	2010
Sales Activity	2020	2019	-1.5	October 2017 -8.8	October 2015 27.6	21.8	38.1
Sales Activity Dollar Volume	2020 134 \$51,444,146	2019 21.8 36.7	-1.5 24.3	October 2017 -8.8 24.1	October 2015 27.6 79.8	2013 21.8 103.1	2010 38.1 107.3
Sales Activity Dollar Volume New Listings	2020 134 \$51,444,146 171	2019 21.8 36.7 8.9	-1.5 24.3 3.0	October 2017 -8.8 24.1 -16.6	October 2015 27.6 79.8 -7.1	2013 21.8 103.1 -26.0	2010 38.1 107.3 -32.1
Sales Activity Dollar Volume New Listings Active Listings 3	2020 134 \$51,444,146 171 44	2019 21.8 36.7 8.9 15.3	2018 -1.5 24.3 3.0 2.6	October 2017 -8.8 24.1 -16.6 -24.4	October 2015 27.6 79.8 -7.1 -49.2	2013 21.8 103.1 -26.0 -58.7	2010 38.1 107.3 -32.1 -40.1
Sales Activity Dollar Volume New Listings Active Listings Sales to New Listings Ratio 4	2020 134 \$51,444,146 171 44 78.4	2019 21.8 36.7 8.9 15.3 70.1	2018 -1.5 24.3 3.0 2.6 81.9	October 2017 -8.8 24.1 -16.6 -24.4 71.7	October 2015 27.6 79.8 -7.1 -49.2 57.1	2013 21.8 103.1 -26.0 -58.7 47.6	2010 38.1 107.3 -32.1 -40.1 38.5
Sales Activity Dollar Volume New Listings Active Listings Sales to New Listings Ratio 4 Months of Inventory 5	2020 134 \$51,444,146 171 44 78.4 3.3	2019 21.8 36.7 8.9 15.3 70.1 3.4	2018 -1.5 24.3 3.0 2.6 81.9 3.1	October 2017 -8.8 24.1 -16.6 -24.4 71.7 3.9	October 2015 27.6 79.8 -7.1 -49.2 57.1 8.2	2013 21.8 103.1 -26.0 -58.7 47.6 9.6	2010 38.1 107.3 -32.1 -40.1 38.5 7.5
Sales Activity Dollar Volume New Listings Active Listings Sales to New Listings Ratio Months of Inventory Average Price	2020 134 \$51,444,146 171 44 78.4 3.3 \$383,912	2019 21.8 36.7 8.9 15.3 70.1 3.4 12.2	2018 -1.5 24.3 3.0 2.6 81.9 3.1 26.2	October 2017 -8.8 24.1 -16.6 -24.4 71.7 3.9 36.1	October 2015 27.6 79.8 -7.1 -49.2 57.1 8.2 40.9	2013 21.8 103.1 -26.0 -58.7 47.6 9.6 66.7	2010 38.1 107.3 -32.1 -40.1 38.5 7.5 50.0

Sales / new listings * 100; Compared to levels from previous periods.

 $^{^{\}rm 2}$ Active listings at month end / monthly sales; Compared to levels from previous periods.

³ The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year.

 $^{^{\}rm 4}~$ Sum of sales from January to current month / sum of new listings from January to current month.

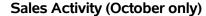
The year-to-date months of inventory figure is calculated as: average active listings from January to current month / average sales from January to current month.

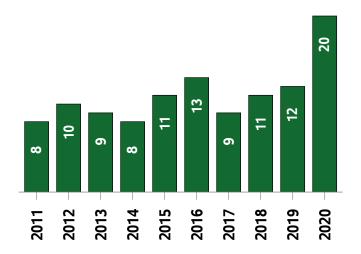
⁶ Sales to new listings ratio, months of inventory and median days on market shown as levels; all others calculated as percentage changes.



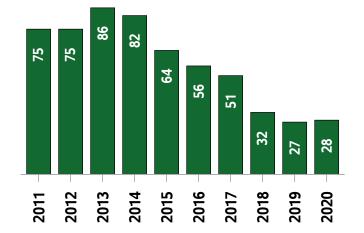
Castlegar MLS® Single Family Market Activity



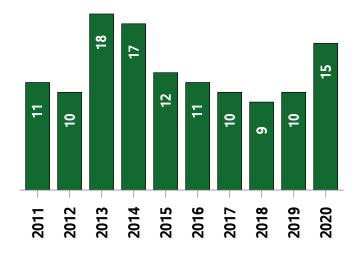




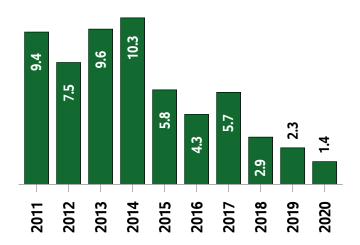
Active Listings (October only)



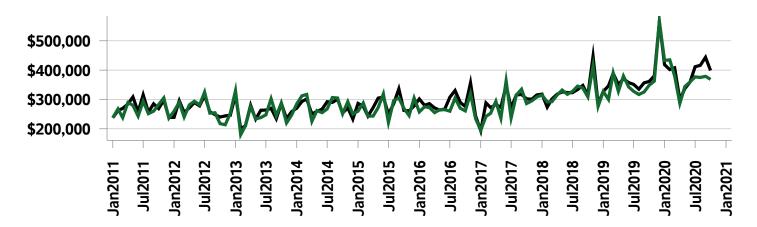
New Listings (October only)



Months of Inventory (October only)



Average Price and Median Price

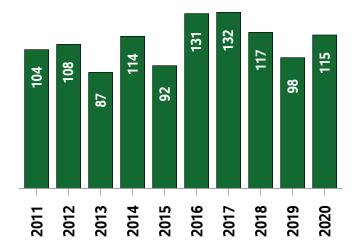




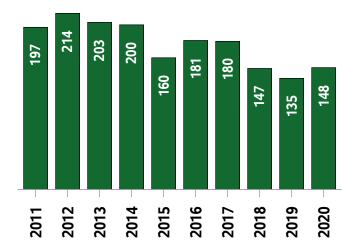
Castlegar MLS® Single Family Market Activity



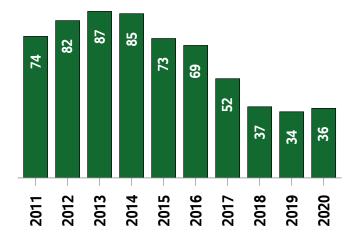




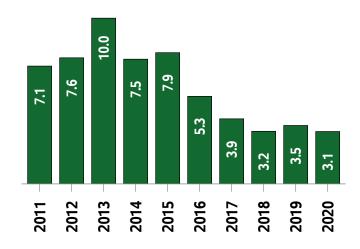
New Listings (October Year-to-date)



Active Listings ¹ (October Year-to-date)



Months of Inventory ² (October Year-to-date)



¹ The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year

² Average active listings January to the current month/average of sales January to the current month



Castlegar MLS® Single Family Market Activity



				Compa	red to ⁶		
Actual	October 2020	October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Sales Activity	20	66.7	81.8	122.2	81.8	122.2	566.7
Dollar Volume	\$7,971,946	83.9	130.1	193.3	176.0	208.9	769.4
New Listings	15	50.0	66.7	50.0	25.0	-16.7	-11.8
Active Listings	28	3.7	-12.5	-45.1	-56.3	-67.4	-64.6
Sales to New Listings Ratio 1	133.3	120.0	122.2	90.0	91.7	50.0	17.6
Months of Inventory ²	1.4	2.3	2.9	5.7	5.8	9.6	26.3
Average Price	\$398,597	10.3	26.6	32.0	51.8	39.0	30.4
Median Price	\$368,500	5.8	19.3	28.8	36.5	28.2	34.0
Sales to List Price Ratio	98.8	98.9	97.2	96.8	96.5	95.4	97.6
Median Days on Market	35.5	30.5	50.0	69.0	42.0	64.0	80.0
		Compared to 6					
				Compa	red to ⁶		
Year-to-date	October 2020	October 2019	October 2018	Compa October 2017	October 2015	October 2013	October 2010
Year-to-date Sales Activity			ı	October	October	ı	l
	2020	2019	2018	October 2017	October 2015	2013	2010
Sales Activity	2020	2019 17.3	-1.7	October 2017 -12.9	October 2015 25.0	32.2	2010 26.4
Sales Activity Dollar Volume	2020 115 \$45,675,046	2019 17.3 30.8	-1.7 22.7	October 2017 -12.9 17.2	October 2015 25.0 76.5	2013 32.2 104.6	2010 26.4 88.5
Sales Activity Dollar Volume New Listings	2020 115 \$45,675,046 148	2019 17.3 30.8 9.6	2018 -1.7 22.7 0.7	October 2017 -12.9 17.2 -17.8	October 2015 25.0 76.5 -7.5	2013 32.2 104.6 -27.1	2010 26.4 88.5 -34.8
Sales Activity Dollar Volume New Listings Active Listings	2020 115 \$45,675,046 148 36	2019 17.3 30.8 9.6 5.2	2018 -1.7 22.7 0.7 -2.2	October 2017 -12.9 17.2 -17.8 -29.8	October 2015 25.0 76.5 -7.5 -50.1	2013 32.2 104.6 -27.1 -58.2	2010 26.4 88.5 -34.8 -43.2
Sales Activity Dollar Volume New Listings Active Listings Sales to New Listings Ratio 4	2020 115 \$45,675,046 148 36 77.7	2019 17.3 30.8 9.6 5.2 72.6	2018 -1.7 22.7 0.7 -2.2 79.6	October 2017 -12.9 17.2 -17.8 -29.8 73.3	October 2015 25.0 76.5 -7.5 -50.1 57.5	2013 32.2 104.6 -27.1 -58.2 42.9	2010 26.4 88.5 -34.8 -43.2 40.1
Sales Activity Dollar Volume New Listings Active Listings Sales to New Listings Ratio Months of Inventory	2020 115 \$45,675,046 148 36 77.7 3.1	2019 17.3 30.8 9.6 5.2 72.6 3.5	2018 -1.7 22.7 0.7 -2.2 79.6 3.2	October 2017 -12.9 17.2 -17.8 -29.8 73.3 3.9	October 2015 25.0 76.5 -7.5 -50.1 57.5 7.9	2013 32.2 104.6 -27.1 -58.2 42.9 10.0	2010 26.4 88.5 -34.8 -43.2 40.1 7.0
Sales Activity Dollar Volume New Listings Active Listings Sales to New Listings Ratio Months of Inventory Average Price	2020 115 \$45,675,046 148 36 77.7 3.1 \$397,174	2019 17.3 30.8 9.6 5.2 72.6 3.5 11.5	2018 -1.7 22.7 0.7 -2.2 79.6 3.2 24.8	October 2017 -12.9 17.2 -17.8 -29.8 73.3 3.9 34.5	October 2015 25.0 76.5 -7.5 -50.1 57.5 7.9 41.2	2013 32.2 104.6 -27.1 -58.2 42.9 10.0 54.8	2010 26.4 88.5 -34.8 -43.2 40.1 7.0 49.2

Sales / new listings * 100; Compared to levels from previous periods.

 $^{^{\}rm 2}$ $\,$ Active listings at month end / monthly sales; Compared to levels from previous periods.

³ The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year.

 $^{^{\}rm 4}~$ Sum of sales from January to current month / sum of new listings from January to current month.

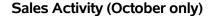
The year-to-date months of inventory figure is calculated as: average active listings from January to current month / average sales from January to current month.

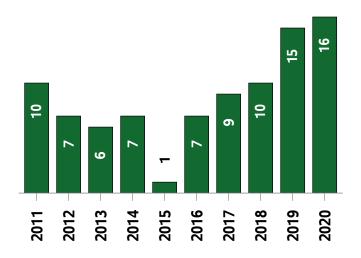
⁶ Sales to new listings ratio, months of inventory and median days on market shown as levels; all others calculated as percentage changes.



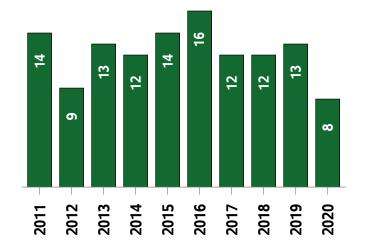
Sparwood MLS® Residential Market Activity



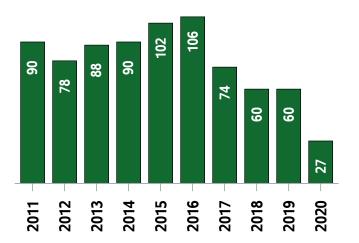




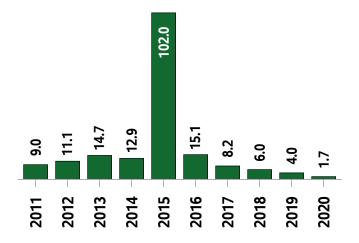
New Listings (October only)



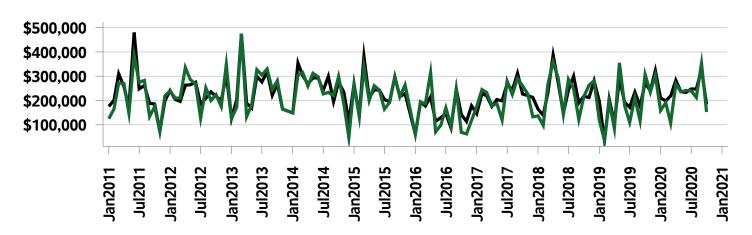
Active Listings (October only)



Months of Inventory (October only)



Average Price and Median Price

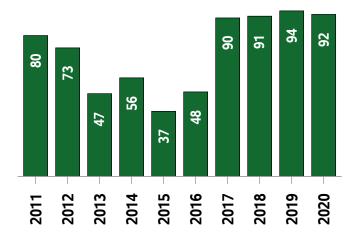




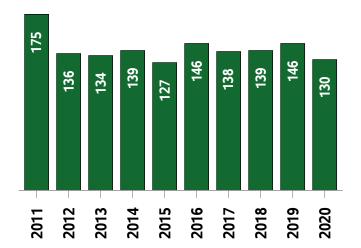
Sparwood MLS® Residential Market Activity



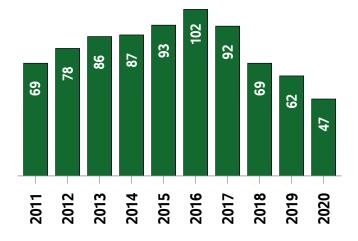
Sales Activity (October Year-to-date)



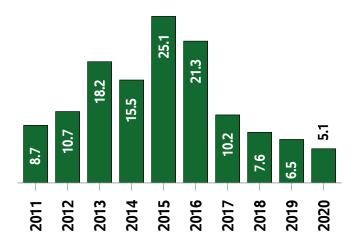
New Listings (October Year-to-date)



Active Listings 1 (October Year-to-date)



Months of Inventory ² (October Year-to-date)



¹ The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year

² Average active listings January to the current month/average of sales January to the current month



Sparwood MLS® Residential Market Activity



				Compa	red to ⁶		Compared to ⁶							
Actual	October 2020	October 2019	October 2018	October 2017	October 2015	October 2013	October 2010							
Sales Activity	16	6.7	60.0	77.8	1,500.0	166.7								
Dollar Volume	\$2,942,750	-28.2	35.4	44.2	1,264.6	82.6								
New Listings	8	-38.5	-33.3	-33.3	-42.9	-38.5	0.0							
Active Listings	27	-55.0	-55.0	-63.5	-73.5	-69.3	-62.5							
Sales to New Listings Ratio 1	200.0	115.4	83.3	75.0	7.1	46.2								
Months of Inventory 2	1.7	4.0	6.0	8.2	102.0	14.7								
Average Price	\$183,922	-32.7	-15.4	-18.9	-14.7	-31.5								
Median Price	\$152,500	-50.3	-29.6	-41.3	-29.3	-45.8								
Sales to List Price Ratio	90.1	96.1	95.3	92.8	103.2	95.1								
Median Days on Market	48.0	36.0	125.5	80.0	97.0	35.0								
		Compared to 6												
				Compa	red to ⁶									
Year-to-date	October 2020	October 2019	October 2018	October 2017	October 2015	October 2013	October 2010							
Year-to-date Sales Activity				October	October	I	I							
	2020	2019	2018	October 2017	October 2015	2013	2010							
Sales Activity	2020 92	-2.1	1.1	October 2017 2.2	October 2015 148.6	2013 95.7	130.0							
Sales Activity Dollar Volume	2020 92 \$22,992,228	-2.1 13.2	2018 1.1 6.9	October 2017 2.2 10.2	October 2015 148.6 162.5	95.7 100.7	2010 130.0 209.8							
Sales Activity Dollar Volume New Listings	92 \$22,992,228 130	-2.1 13.2 -11.0	2018 1.1 6.9 -6.5	October 2017 2.2 10.2 -5.8	October 2015 148.6 162.5 2.4	95.7 100.7 -3.0	2010 130.0 209.8 -27.4							
Sales Activity Dollar Volume New Listings Active Listings ³	2020 92 \$22,992,228 130 47	-2.1 13.2 -11.0 -23.1	2018 1.1 6.9 -6.5 -31.7	October 2017 2.2 10.2 -5.8 -48.6	October 2015 148.6 162.5 2.4 -49.0	95.7 100.7 -3.0 -44.8	2010 130.0 209.8 -27.4 -25.9							
Sales Activity Dollar Volume New Listings Active Listings Sales to New Listings Ratio 4	2020 92 \$22,992,228 130 47 70.8	2019 -2.1 13.2 -11.0 -23.1 64.4	2018 1.1 6.9 -6.5 -31.7 65.5	October 2017 2.2 10.2 -5.8 -48.6 65.2	October 2015 148.6 162.5 2.4 -49.0 29.1	95.7 100.7 -3.0 -44.8 35.1	2010 130.0 209.8 -27.4 -25.9 22.3							
Sales Activity Dollar Volume New Listings Active Listings Sales to New Listings Ratio Months of Inventory	2020 92 \$22,992,228 130 47 70.8 5.1	-2.1 13.2 -11.0 -23.1 64.4 6.5	2018 1.1 6.9 -6.5 -31.7 65.5 7.6	October 2017 2.2 10.2 -5.8 -48.6 65.2 10.2	October 2015 148.6 162.5 2.4 -49.0 29.1 25.1	2013 95.7 100.7 -3.0 -44.8 35.1 18.2	2010 130.0 209.8 -27.4 -25.9 22.3 16.0							
Sales Activity Dollar Volume New Listings Active Listings Sales to New Listings Ratio Months of Inventory Average Price	2020 92 \$22,992,228 130 47 70.8 5.1 \$249,916	2019 -2.1 13.2 -11.0 -23.1 64.4 6.5 15.7	2018 1.1 6.9 -6.5 -31.7 65.5 7.6 5.7	October 2017 2.2 10.2 -5.8 -48.6 65.2 10.2 7.8	October 2015 148.6 162.5 2.4 -49.0 29.1 25.1 5.6	2013 95.7 100.7 -3.0 -44.8 35.1 18.2 2.5	2010 130.0 209.8 -27.4 -25.9 22.3 16.0 34.7							

Sales / new listings * 100; Compared to levels from previous periods.

Source: Canadian MLS® Systems, CREA

 $^{^{\}rm 2}$ $\,$ Active listings at month end / monthly sales; Compared to levels from previous periods.

³ The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year.

 $^{^{\}rm 4}~$ Sum of sales from January to current month / sum of new listings from January to current month.

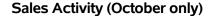
The year-to-date months of inventory figure is calculated as: average active listings from January to current month / average sales from January to current month.

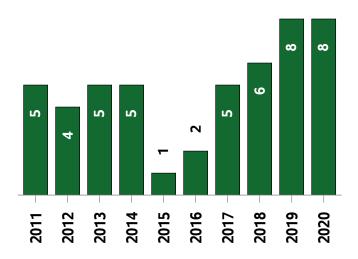
⁶ Sales to new listings ratio, months of inventory and median days on market shown as levels; all others calculated as percentage changes.



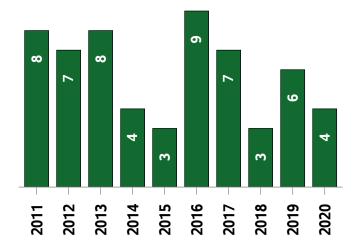
Sparwood MLS® Single Family Market Activity



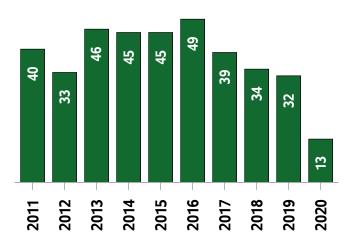




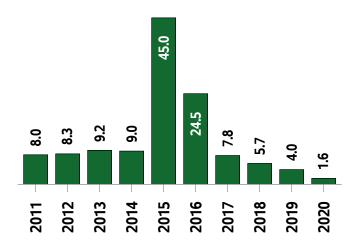
New Listings (October only)



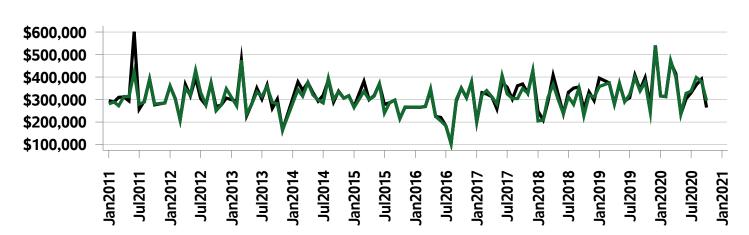
Active Listings (October only)



Months of Inventory (October only)



Average Price and Median Price

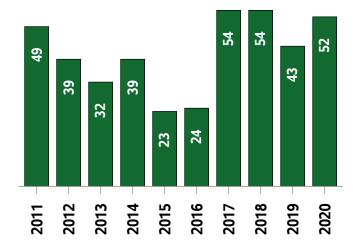




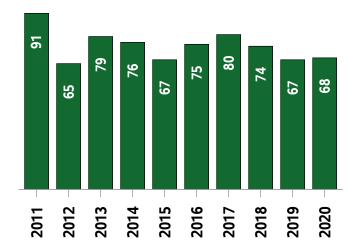
Sparwood MLS® Single Family Market Activity



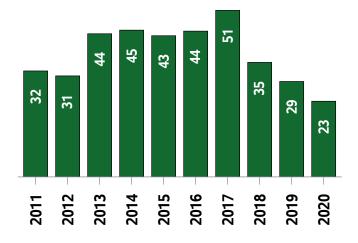
Sales Activity (October Year-to-date)



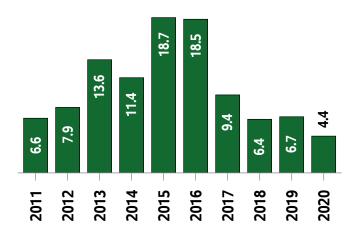
New Listings (October Year-to-date)



Active Listings 1 (October Year-to-date)



Months of Inventory ² (October Year-to-date)



¹ The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year

² Average active listings January to the current month/average of sales January to the current month



Sparwood MLS® Single Family Market Activity



				Compa	red to '		
Actual	October 2020	October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Sales Activity	8	0.0	33.3	60.0	700.0	60.0	
Dollar Volume	\$2,116,500	-33.4	37.3	14.7	881.5	40.3	
New Listings	4	-33.3	33.3	-42.9	33.3	-50.0	-20.0
Active Listings	13	-59.4	-61.8	-66.7	-71.1	-71.7	-71.7
Sales to New Listings Ratio 1	200.0	133.3	200.0	71.4	33.3	62.5	
Months of Inventory 2	1.6	4.0	5.7	7.8	45.0	9.2	
Average Price	\$264,563	-33.4	3.0	-28.3	22.7	-12.3	
Median Price	\$295,000	-22.0	29.6	-15.4	36.8	4.6	
Sales to List Price Ratio	86.4	96.6	95.2	97.1	103.2	96.2	
Median Days on Market	35.0	35.0	94.0	158.0	97.0	35.0	
		Compared to '					
				Compa	red to ⁶		
Year-to-date	October 2020	October 2019	October 2018	Compa October 2017	October 2015	October 2013	October 2010
Year-to-date Sales Activity			ı	October	October	ı	
	2020	2019	2018	October 2017	October 2015	2013	2010
Sales Activity	2020 52	2019	-3.7	October 2017 -3.7	October 2015 126.1	2013 62.5	2010 160.0
Sales Activity Dollar Volume	2020 52 \$18,052,124	2019 20.9 17.7	-3.7 3.8	October 2017 -3.7 1.0	October 2015 126.1 155.8	2013 62.5 86.1	2010 160.0 237.2
Sales Activity Dollar Volume New Listings	2020 52 \$18,052,124 68	2019 20.9 17.7 1.5	-3.7 3.8 -8.1	October 2017 -3.7 1.0 -15.0	October 2015 126.1 155.8 1.5	2013 62.5 86.1 -13.9	2010 160.0 237.2 -31.3
Sales Activity Dollar Volume New Listings Active Listings 3	2020 52 \$18,052,124 68 23	2019 20.9 17.7 1.5 -20.7	-3.7 3.8 -8.1 -33.9	October 2017 -3.7 1.0 -15.0 -54.5	October 2015 126.1 155.8 1.5 -46.4	2013 62.5 86.1 -13.9 -47.1	2010 160.0 237.2 -31.3 -30.9
Sales Activity Dollar Volume New Listings Active Listings Sales to New Listings Ratio 4	2020 52 \$18,052,124 68 23 76.5	2019 20.9 17.7 1.5 -20.7 64.2	2018 -3.7 3.8 -8.1 -33.9 73.0	October 2017 -3.7 1.0 -15.0 -54.5 67.5	October 2015 126.1 155.8 1.5 -46.4 34.3	2013 62.5 86.1 -13.9 -47.1 40.5	2010 160.0 237.2 -31.3 -30.9 20.2
Sales Activity Dollar Volume New Listings Active Listings Sales to New Listings Ratio Months of Inventory	2020 52 \$18,052,124 68 23 76.5 4.4	2019 20.9 17.7 1.5 -20.7 64.2 6.7	2018 -3.7 3.8 -8.1 -33.9 73.0 6.4	October 2017 -3.7 1.0 -15.0 -54.5 67.5 9.4	October 2015 126.1 155.8 1.5 -46.4 34.3 18.7	2013 62.5 86.1 -13.9 -47.1 40.5 13.6	2010 160.0 237.2 -31.3 -30.9 20.2 16.7
Sales Activity Dollar Volume New Listings Active Listings Sales to New Listings Ratio Months of Inventory Average Price	2020 52 \$18,052,124 68 23 76.5 4.4 \$347,156	2019 20.9 17.7 1.5 -20.7 64.2 6.7 -2.7	2018 -3.7 3.8 -8.1 -33.9 73.0 6.4 7.8	October 2017 -3.7 1.0 -15.0 -54.5 67.5 9.4 4.9	October 2015 126.1 155.8 1.5 -46.4 34.3 18.7 13.2	2013 62.5 86.1 -13.9 -47.1 40.5 13.6 14.5	2010 160.0 237.2 -31.3 -30.9 20.2 16.7 29.7

Sales / new listings * 100; Compared to levels from previous periods.

Source: Canadian MLS® Systems, CREA

Active listings at month end / monthly sales; Compared to levels from previous periods.

³ The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year.

 $^{^{\}rm 4}$ $\,$ Sum of sales from January to current month / sum of new listings from January to current month.

The year-to-date months of inventory figure is calculated as: average active listings from January to current month / average sales from January to current month.

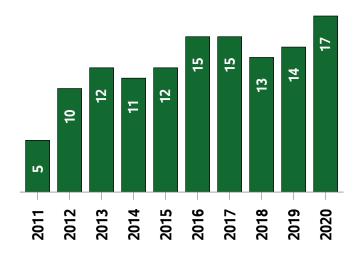
⁶ Sales to new listings ratio, months of inventory and median days on market shown as levels; all others calculated as percentage changes.



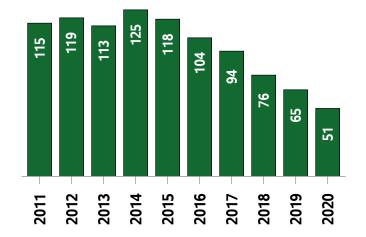
Creston MLS® Residential Market Activity

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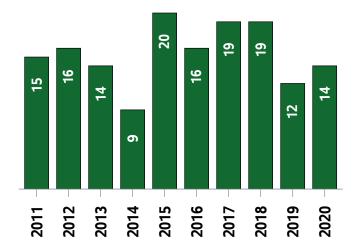
Sales Activity (October only)



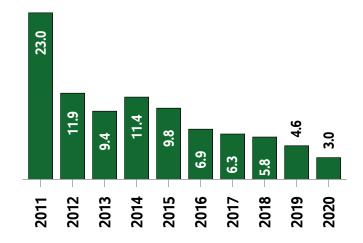
Active Listings (October only)



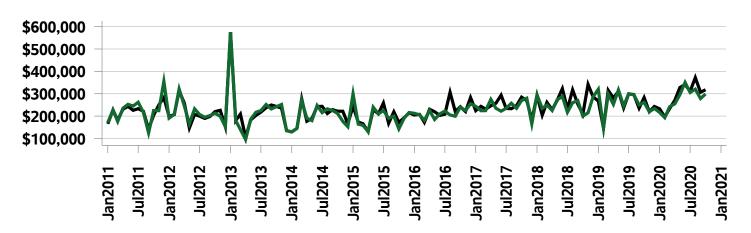
New Listings (October only)



Months of Inventory (October only)



Average Price and Median Price

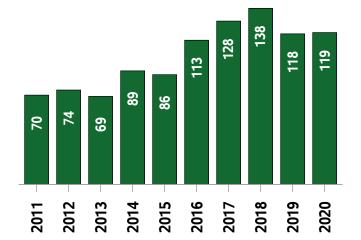




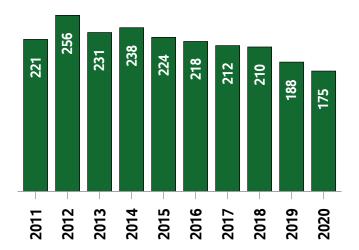
Creston MLS® Residential Market Activity



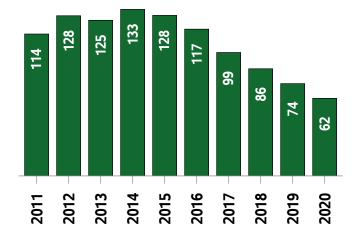




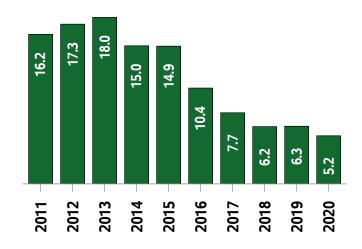
New Listings (October Year-to-date)



Active Listings 1 (October Year-to-date)



Months of Inventory ² (October Year-to-date)



¹ The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year

² Average active listings January to the current month/average of sales January to the current month



Creston MLS® Residential Market Activity

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		Compared to ⁶						
Actual	October 2020	October 2019	October 2018	October 2017	October 2015	October 2013	October 2010	
Sales Activity	17	21.4	30.8	13.3	41.7	41.7	325.0	
Dollar Volume	\$5,402,900	36.4	98.9	26.5	162.2	85.1	509.8	
New Listings	14	16.7	-26.3	-26.3	-30.0	0.0	0.0	
Active Listings	51	-21.5	-32.9	-45.7	-56.8	-54.9	-44.0	
Sales to New Listings Ratio 1	121.4	116.7	68.4	78.9	60.0	85.7	28.6	
Months of Inventory 2	3.0	4.6	5.8	6.3	9.8	9.4	22.8	
Average Price	\$317,818	12.3	52.1	11.6	85.1	30.7	43.5	
Median Price	\$299,000	14.3	49.9	10.7	109.8	23.6	38.7	
Sales to List Price Ratio	96.2	91.4	91.5	94.2	92.4	93.2	95.5	
Median Days on Market	54.0	96.0	84.0	154.0	70.0	118.5	135.5	
				Compa	red to ⁶			
Year-to-date	October 2020	October 2019	October 2018	October 2017	October 2015	October 2013	October 2010	
Sales Activity	119	0.8	-13.8	-7.0	38.4	72.5	133.3	
Dollar Volume	\$36,406,100	8.0	2.3	13.2	103.9	137.9	253.2	
New Listings	175	-6.9	-16.7	-17.5	-21.9	-24.2	-25.5	
Active Listings ³	62	-15.9	-27.5	-37.1	-51.6	-50.1	-30.9	
Sales to New Listings Ratio 4	68.0	62.8	65.7	60.4	38.4	29.9	21.7	
Months of Inventory 5	5.2	6.3	6.2	7.7	14.9	18.0	17.6	
Average Price	\$305,934	7.1	18.6	21.8	47.3	38.0	51.4	
Median Price	\$297,000	8.4	18.3	17.6	48.5	36.9	51.5	
Sales to List Price Ratio	95.8	95.2	94.8	94.8	93.0	93.4	93.6	
Median Days on Market	69.0	58.5	60.0	76.0	93.0	98.0	40.0	

Sales / new listings * 100; Compared to levels from previous periods.

Source: Canadian MLS® Systems, CREA

 $^{^{\}rm 2}$ $\,$ Active listings at month end / monthly sales; Compared to levels from previous periods.

³ The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year.

 $^{^{\}rm 4}~$ Sum of sales from January to current month / sum of new listings from January to current month.

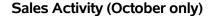
The year-to-date months of inventory figure is calculated as: average active listings from January to current month / average sales from January to current month.

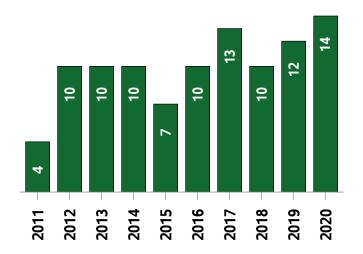
⁶ Sales to new listings ratio, months of inventory and median days on market shown as levels; all others calculated as percentage changes.



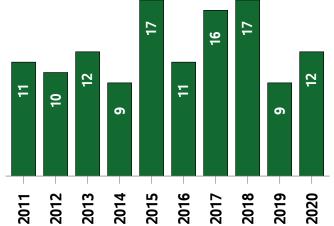
Creston MLS® Single Family Market Activity



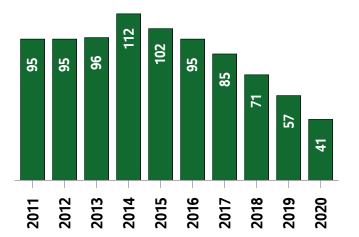




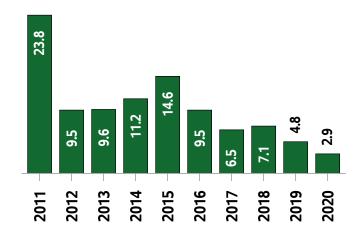
New Listings (October only)



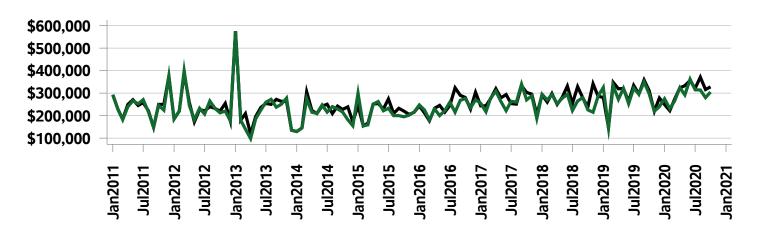
Active Listings (October only)



Months of Inventory (October only)



Average Price and Median Price

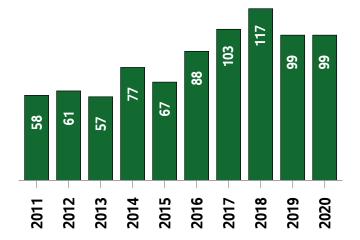




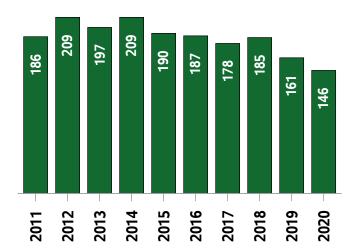
Creston MLS® Single Family Market Activity



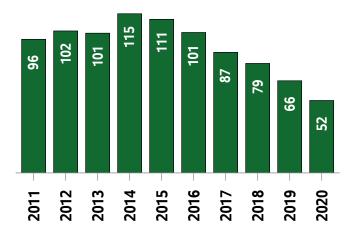




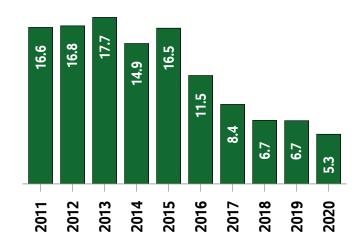
New Listings (October Year-to-date)



Active Listings 1 (October Year-to-date)



Months of Inventory ² (October Year-to-date)



¹ The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year

² Average active listings January to the current month/average of sales January to the current month



Creston MLS® Single Family Market Activity



				Compa	red to ⁶		
Actual	October 2020	October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Sales Activity	14	16.7	40.0	7.7	100.0	40.0	366.7
Dollar Volume	\$4,591,900	22.9	92.7	16.5	197.8	74.3	565.5
New Listings	12	33.3	-29.4	-25.0	-29.4	0.0	9.1
Active Listings	41	-28.1	-42.3	-51.8	-59.8	-57.3	-46.8
Sales to New Listings Ratio 1	116.7	133.3	58.8	81.3	41.2	83.3	27.3
Months of Inventory ²	2.9	4.8	7.1	6.5	14.6	9.6	25.7
Average Price	\$327,993	5.3	37.7	8.2	48.9	24.5	42.6
Median Price	\$304,950	2.5	35.2	12.9	56.4	21.7	29.8
Sales to List Price Ratio	95.9	96.2	91.5	94.1	91.7	94.3	97.5
Median Days on Market	54.5	93.0	70.0	159.0	92.0	118.5	124.0
		Compared to 6					
				Compa	red to °		
Year-to-date	October 2020	October 2019	October 2018	Compa October 2017	October 2015	October 2013	October 2010
Year-to-date Sales Activity				October	October		
	2020	2019	2018	October 2017	October 2015	2013	2010
Sales Activity	2020 99	0.0	-15.4	October 2017 -3.9	October 2015 47.8	73.7	2010 147.5
Sales Activity Dollar Volume	99 \$32,007,600	0.0 2.6	-15.4 -2.8	October 2017 -3.9 12.2	October 2015 47.8 104.2	73.7 131.7	2010 147.5 256.8
Sales Activity Dollar Volume New Listings	2020 99 \$32,007,600 146	2019 0.0 2.6 -9.3	-15.4 -2.8 -21.1	October 2017 -3.9 12.2 -18.0	October 2015 47.8 104.2 -23.2	2013 73.7 131.7 -25.9	2010 147.5 256.8 -25.5
Sales Activity Dollar Volume New Listings Active Listings	2020 99 \$32,007,600 146 52	2019 0.0 2.6 -9.3 -21.4	-15.4 -2.8 -21.1 -33.8	October 2017 -3.9 12.2 -18.0 -39.9	October 2015 47.8 104.2 -23.2 -52.8	2013 73.7 131.7 -25.9 -48.2	2010 147.5 256.8 -25.5 -32.0
Sales Activity Dollar Volume New Listings Active Listings Sales to New Listings Ratio 4	2020 99 \$32,007,600 146 52 67.8	2019 0.0 2.6 -9.3 -21.4 61.5	-15.4 -2.8 -21.1 -33.8 63.2	October 2017 -3.9 12.2 -18.0 -39.9 57.9	October 2015 47.8 104.2 -23.2 -52.8 35.3	2013 73.7 131.7 -25.9 -48.2 28.9	2010 147.5 256.8 -25.5 -32.0 20.4
Sales Activity Dollar Volume New Listings Active Listings Sales to New Listings Ratio Months of Inventory	2020 99 \$32,007,600 146 52 67.8 5.3	2019 0.0 2.6 -9.3 -21.4 61.5 6.7	-15.4 -2.8 -21.1 -33.8 63.2 6.7	October 2017 -3.9 12.2 -18.0 -39.9 57.9 8.4	October 2015 47.8 104.2 -23.2 -52.8 35.3 16.5	2013 73.7 131.7 -25.9 -48.2 28.9 17.7	2010 147.5 256.8 -25.5 -32.0 20.4 19.2
Sales Activity Dollar Volume New Listings Active Listings Sales to New Listings Ratio Months of Inventory Average Price	2020 99 \$32,007,600 146 52 67.8 5.3 \$323,309	2019 0.0 2.6 -9.3 -21.4 61.5 6.7 2.6	-15.4 -2.8 -21.1 -33.8 63.2 6.7 14.9	October 2017 -3.9 12.2 -18.0 -39.9 57.9 8.4 16.7	October 2015 47.8 104.2 -23.2 -52.8 35.3 16.5 38.2	2013 73.7 131.7 -25.9 -48.2 28.9 17.7 33.4	2010 147.5 256.8 -25.5 -32.0 20.4 19.2 44.2

Sales / new listings * 100; Compared to levels from previous periods.

Active listings at month end / monthly sales; Compared to levels from previous periods.

The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year.

 $^{^{\}rm 4}$ $\,$ Sum of sales from January to current month / sum of new listings from January to current month.

The year-to-date months of inventory figure is calculated as: average active listings from January to current month / average sales from January to current month.

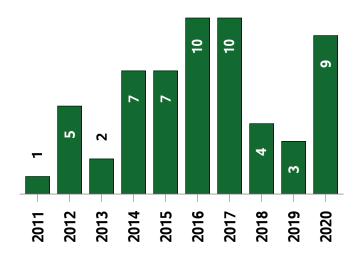
⁶ Sales to new listings ratio, months of inventory and median days on market shown as levels; all others calculated as percentage changes.



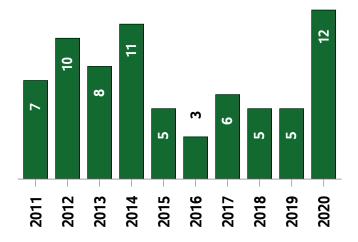
Golden MLS® Residential Market Activity

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Sales Activity (October only)

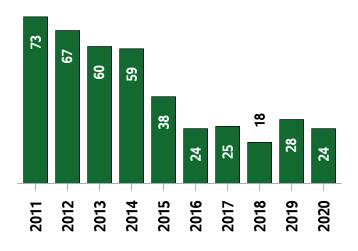


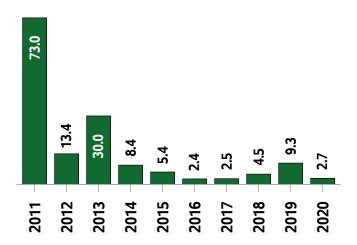
Active Listings (October only)



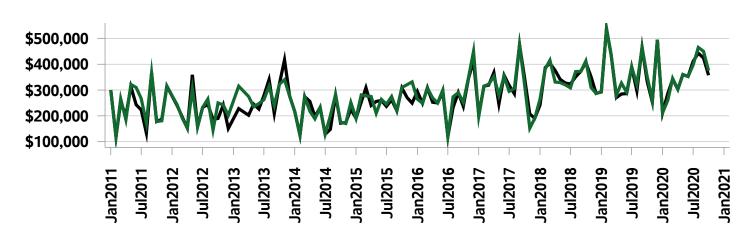
New Listings (October only)

Months of Inventory (October only)





Average Price and Median Price

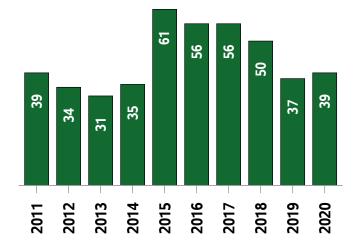




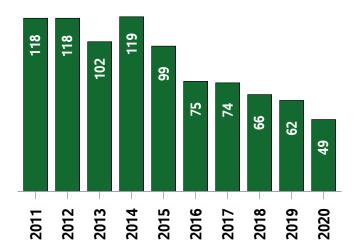
Golden MLS® Residential Market Activity



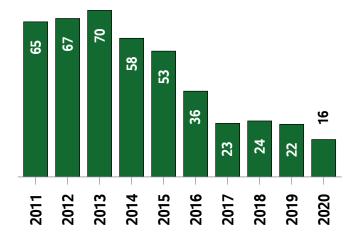
Sales Activity (October Year-to-date)



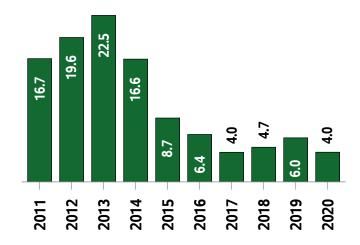
New Listings (October Year-to-date)



Active Listings 1 (October Year-to-date)



Months of Inventory ² (October Year-to-date)



¹ The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year

² Average active listings January to the current month/average of sales January to the current month



Golden MLS® Residential Market Activity



				Compa	red to '		
Actual	October 2020	October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Sales Activity	9	200.0	125.0	-10.0	28.6	350.0	350.0
Dollar Volume	\$3,214,900	220.8	97.7	-7.5	49.1	398.4	578.2
New Listings	12	140.0	140.0	100.0	140.0	50.0	140.0
Active Listings	24	-14.3	33.3	-4.0	-36.8	-60.0	-57.9
Sales to New Listings Ratio 1	75.0	60.0	80.0	166.7	140.0	25.0	40.0
Months of Inventory ²	2.7	9.3	4.5	2.5	5.4	30.0	28.5
Average Price	\$357,211	6.9	-12.1	2.8	16.0	10.8	50.7
Median Price	\$375,000	6.2	-9.1	16.9	21.0	16.3	58.2
Sales to List Price Ratio	96.4	97.0	97.9	97.4	96.1	97.1	93.2
Median Days on Market	23.0	28.0	29.0	43.0	129.0	161.0	33.0
		Compared to °					
				Compa	red to '		
Year-to-date	October 2020	October 2019	October 2018	Compa October 2017	October 2015	October 2013	October 2010
Year-to-date Sales Activity				October	October		
	2020	2019	2018	October 2017	October 2015	2013	2010
Sales Activity	2020	2019 5.4	2018 -22.0	October 2017 -30.4	October 2015 -36.1	2013 25.8	2010 25.8
Sales Activity Dollar Volume	2020 39 \$13,694,500	5.4 8.2	-22.0 -23.2	October 2017 -30.4 -19.9	October 2015 -36.1 -12.9	2013 25.8 71.1	2010 25.8 70.1
Sales Activity Dollar Volume New Listings	2020 39 \$13,694,500 49	5.4 8.2 -21.0	-22.0 -23.2 -25.8	October 2017 -30.4 -19.9	October 2015 -36.1 -12.9 -50.5	2013 25.8 71.1 -52.0	2010 25.8 70.1 -64.0
Sales Activity Dollar Volume New Listings Active Listings ³	2020 39 \$13,694,500 49 16	5.4 8.2 -21.0 -29.0	-22.0 -23.2 -25.8 -33.2	October 2017 -30.4 -19.9 -33.8 -30.2	October 2015 -36.1 -12.9 -50.5 -70.3	25.8 71.1 -52.0 -77.5	25.8 70.1 -64.0 -67.8
Sales Activity Dollar Volume New Listings Active Listings Sales to New Listings Ratio 4	2020 39 \$13,694,500 49 16 79.6	2019 5.4 8.2 -21.0 -29.0 59.7	-22.0 -23.2 -25.8 -33.2 75.8	October 2017 -30.4 -19.9 -33.8 -30.2 75.7	October 2015 -36.1 -12.9 -50.5 -70.3 61.6	2013 25.8 71.1 -52.0 -77.5 30.4	2010 25.8 70.1 -64.0 -67.8 22.8
Sales Activity Dollar Volume New Listings Active Listings Sales to New Listings Ratio Months of Inventory	2020 39 \$13,694,500 49 16 79.6 4.0	2019 5.4 8.2 -21.0 -29.0 59.7 6.0	-22.0 -23.2 -25.8 -33.2 75.8 4.7	October 2017 -30.4 -19.9 -33.8 -30.2 75.7 4.0	October 2015 -36.1 -12.9 -50.5 -70.3 61.6 8.7	2013 25.8 71.1 -52.0 -77.5 30.4 22.5	2010 25.8 70.1 -64.0 -67.8 22.8 15.7
Sales Activity Dollar Volume New Listings Active Listings Sales to New Listings Ratio Months of Inventory Average Price	2020 39 \$13,694,500 49 16 79.6 4.0 \$351,141	2019 5.4 8.2 -21.0 -29.0 59.7 6.0 2.7	-22.0 -23.2 -25.8 -33.2 75.8 4.7 -1.6	October 2017 -30.4 -19.9 -33.8 -30.2 75.7 4.0 14.9	October 2015 -36.1 -12.9 -50.5 -70.3 61.6 8.7 36.2	2013 25.8 71.1 -52.0 -77.5 30.4 22.5 36.0	2010 25.8 70.1 -64.0 -67.8 22.8 15.7 35.2

Sales / new listings * 100; Compared to levels from previous periods.

Source: Canadian MLS® Systems, CREA

Active listings at month end / monthly sales; Compared to levels from previous periods.

³ The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year.

 $^{^{\}rm 4}~$ Sum of sales from January to current month / sum of new listings from January to current month.

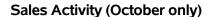
The year-to-date months of inventory figure is calculated as: average active listings from January to current month / average sales from January to current month.

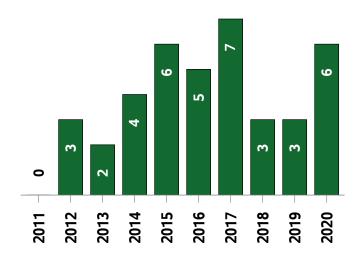
⁶ Sales to new listings ratio, months of inventory and median days on market shown as levels; all others calculated as percentage changes.



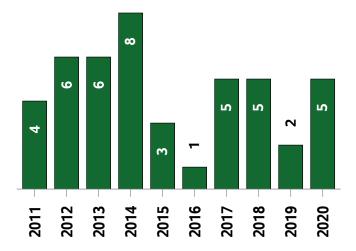
GoldenMLS® Single Family Market Activity



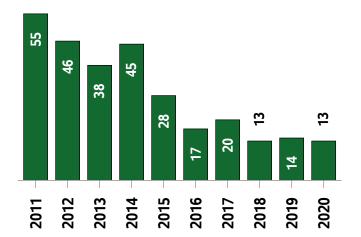




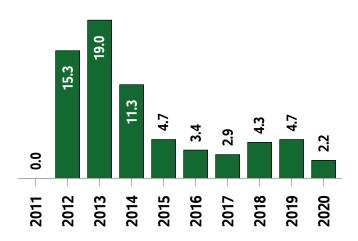
New Listings (October only)



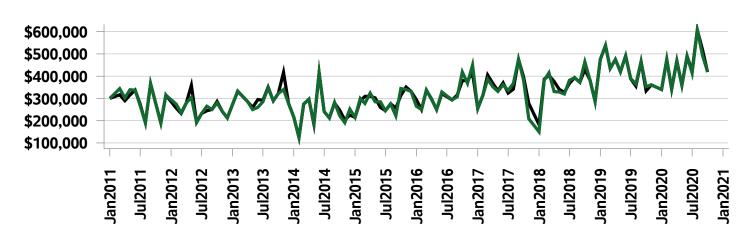
Active Listings (October only)



Months of Inventory (October only)



Average Price and Median Price

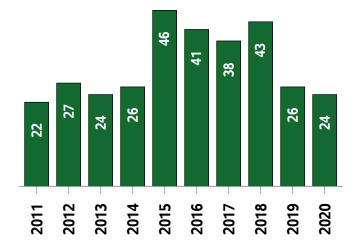




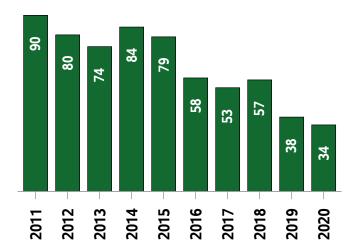
Golden MLS® Single Family Market Activity



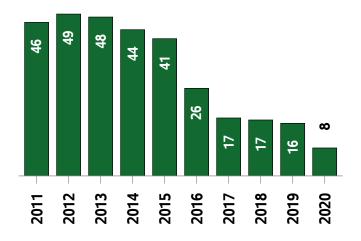




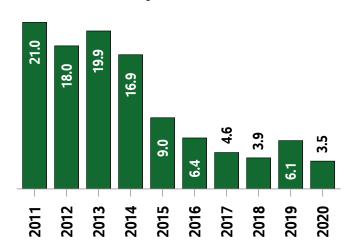
New Listings (October Year-to-date)



Active Listings ¹ (October Year-to-date)



Months of Inventory ² (October Year-to-date)



¹ The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year

² Average active listings January to the current month/average of sales January to the current month



Golden MLS® Single Family Market Activity

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				Compa	red to ⁶		
Actual	October 2020	October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Sales Activity	6	100.0	100.0	-14.3	0.0	200.0	200.0
Dollar Volume	\$2,510,000	150.5	94.4	-9.6	33.5	289.1	429.5
New Listings	5	150.0	0.0	0.0	66.7	-16.7	25.0
Active Listings	13	-7.1	0.0	-35.0	-53.6	-65.8	-63.9
Sales to New Listings Ratio 1	120.0	150.0	60.0	140.0	200.0	33.3	50.0
Months of Inventory ²	2.2	4.7	4.3	2.9	4.7	19.0	18.0
Average Price	\$418,333	25.2	-2.8	5.5	33.5	29.7	76.5
Median Price	\$419,500	18.8	-9.7	10.1	21.8	30.1	77.0
Sales to List Price Ratio	98.0	97.0	97.6	98.3	95.8	97.1	93.2
Median Days on Market	22.0	28.0	29.0	47.0	125.0	161.0	33.0
				Compa	red to ⁶		
Year-to-date	October 2020	October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Sales Activity	24	-7.7	-44.2	-36.8	-47.8	0.0	0.0
Dollar Volume	\$10,518,500	-2.1	-33.7	-22.8	-19.5	46.5	44.3
New Listings	34	-10.5	-40.4	-35.8	-57.0	-54.1	-65.7
Active Listings ³	8	-46.8	-50.0	-51.7	-79.6	-82.4	-75.8
Sales to New Listings Ratio ⁴	70.6	68.4	75.4	71.7	58.2	32.4	24.2
Months of Inventory ⁵	3.5	6.1	3.9	4.6	9.0	19.9	14.5
Average Price	\$438,271	6.0	18.9	22.3	54.4	46.5	44.3
Median Price	\$437,250	9.9	15.1	23.2	58.3	46.6	41.5
Sales to List Price Ratio	97.2	96.6	96.0	96.1	95.9	95.0	93.6

Sales / new listings * 100; Compared to levels from previous periods.

Active listings at month end / monthly sales; Compared to levels from previous periods.

³ The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year.

 $^{^{\}rm 4}$ $\,$ Sum of sales from January to current month / sum of new listings from January to current month.

The year-to-date months of inventory figure is calculated as: average active listings from January to current month / average sales from January to current month.

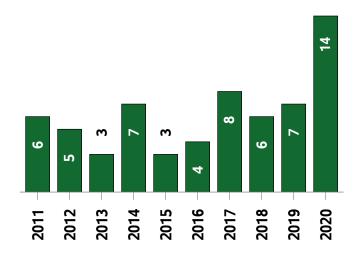
⁶ Sales to new listings ratio, months of inventory and median days on market shown as levels; all others calculated as percentage changes.



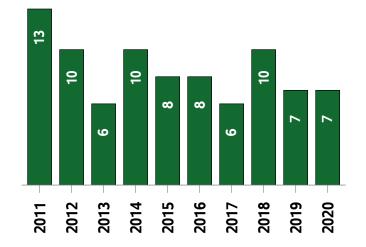
Elkford MLS® Residential Market Activity

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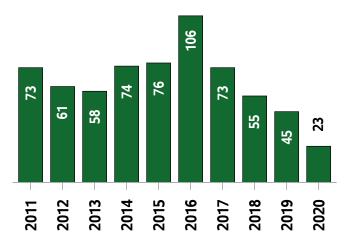
Sales Activity (October only)



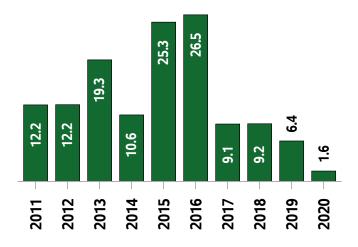
New Listings (October only)



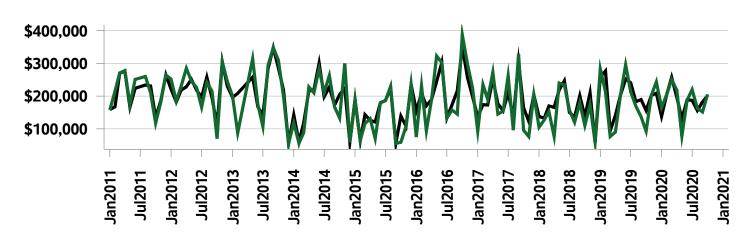
Active Listings (October only)



Months of Inventory (October only)



Average Price and Median Price

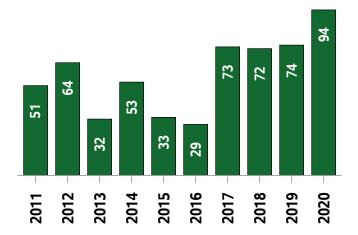




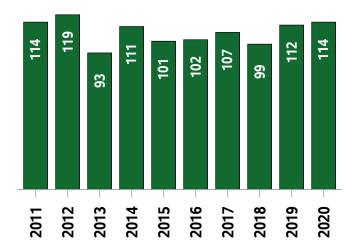
Elkford MLS® Residential Market Activity



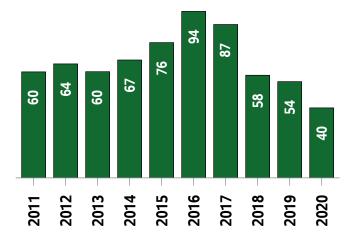
Sales Activity (October Year-to-date)



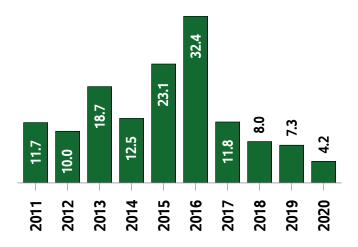
New Listings (October Year-to-date)



Active Listings 1 (October Year-to-date)



Months of Inventory ² (October Year-to-date)



¹ The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year

² Average active listings January to the current month/average of sales January to the current month



Elkford MLS® Residential Market Activity



		Compared to 6					
Actual	October 2020	October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Sales Activity	14	100.0	133.3	75.0	366.7	366.7	366.7
Dollar Volume	\$2,814,500	157.6	241.8	113.9	573.3	227.3	542.6
New Listings	7	0.0	-30.0	16.7	-12.5	16.7	0.0
Active Listings	23	-48.9	-58.2	-68.5	-69.7	-60.3	-46.5
Sales to New Listings Ratio 1	200.0	100.0	60.0	133.3	37.5	50.0	42.9
Months of Inventory ²	1.6	6.4	9.2	9.1	25.3	19.3	14.3
Average Price	\$201,036	28.8	46.5	22.3	44.3	-29.9	37.7
Median Price	\$205,500	121.0	86.4	114.6	248.3	-33.7	133.5
Sales to List Price Ratio	96.5	94.0	96.2	94.0	93.4	95.1	93.1
Median Days on Market	42.5	121.0	97.5	222.5	163.0	170.0	29.0
		Compared to 6					
Year-to-date	October 2020	October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Year-to-date Sales Activity							
	2020	2019	2018	2017	2015	2013	2010
Sales Activity	2020 94	27.0	30.6	28.8	2015 184.8	2013 193.8	2010 370.0
Sales Activity Dollar Volume	94 \$17,110,900	2019 27.0 15.0	30.6 35.4	2017 28.8 26.5	2015 184.8 268.7	2013 193.8 141.6	370.0 379.6
Sales Activity Dollar Volume New Listings	94 \$17,110,900 114	2019 27.0 15.0 1.8	30.6 35.4 15.2	2017 28.8 26.5 6.5	2015 184.8 268.7 12.9	2013 193.8 141.6 22.6	370.0 379.6 32.6
Sales Activity Dollar Volume New Listings Active Listings ³	2020 94 \$17,110,900 114 40	27.0 15.0 1.8 -27.3	30.6 35.4 15.2 -31.8	2017 28.8 26.5 6.5 -54.3	2015 184.8 268.7 12.9 -48.2	2013 193.8 141.6 22.6 -34.1	370.0 379.6 32.6 11.0
Sales Activity Dollar Volume New Listings Active Listings Sales to New Listings Ratio 4	2020 94 \$17,110,900 114 40 82.5	2019 27.0 15.0 1.8 -27.3 66.1	30.6 35.4 15.2 -31.8 72.7	2017 28.8 26.5 6.5 -54.3 68.2	2015 184.8 268.7 12.9 -48.2 32.7	2013 193.8 141.6 22.6 -34.1 34.4	2010 370.0 379.6 32.6 11.0 23.3
Sales Activity Dollar Volume New Listings Active Listings Sales to New Listings Ratio Months of Inventory	2020 94 \$17,110,900 114 40 82.5 4.2	2019 27.0 15.0 1.8 -27.3 66.1 7.3	2018 30.6 35.4 15.2 -31.8 72.7 8.0	2017 28.8 26.5 6.5 -54.3 68.2 11.8	2015 184.8 268.7 12.9 -48.2 32.7 23.1	2013 193.8 141.6 22.6 -34.1 34.4 18.7	2010 370.0 379.6 32.6 11.0 23.3 17.8
Sales Activity Dollar Volume New Listings Active Listings Sales to New Listings Ratio Months of Inventory Average Price	2020 94 \$17,110,900 114 40 82.5 4.2 \$182,031	2019 27.0 15.0 1.8 -27.3 66.1 7.3 -9.5	2018 30.6 35.4 15.2 -31.8 72.7 8.0 3.7	2017 28.8 26.5 6.5 -54.3 68.2 11.8	2015 184.8 268.7 12.9 -48.2 32.7 23.1 29.4	2013 193.8 141.6 22.6 -34.1 34.4 18.7 -17.8	2010 370.0 379.6 32.6 11.0 23.3 17.8 2.0

Sales / new listings * 100; Compared to levels from previous periods.

Source: Canadian MLS® Systems, CREA

 $^{^{\}rm 2}$ $\,$ Active listings at month end / monthly sales; Compared to levels from previous periods.

³ The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year.

 $^{^{\}rm 4}~$ Sum of sales from January to current month / sum of new listings from January to current month.

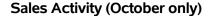
The year-to-date months of inventory figure is calculated as: average active listings from January to current month / average sales from January to current month.

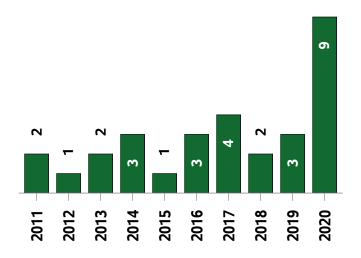
⁶ Sales to new listings ratio, months of inventory and median days on market shown as levels; all others calculated as percentage changes.



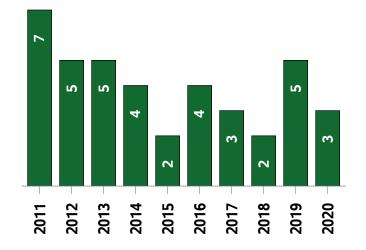
Elkford MLS® Single Family Market Activity



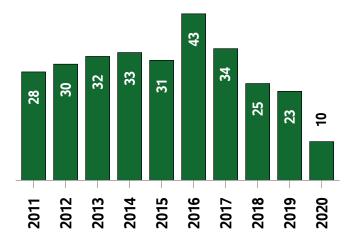




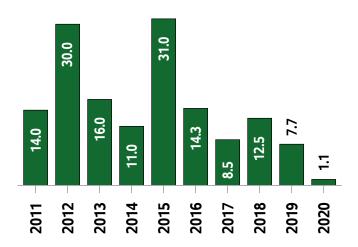
New Listings (October only)



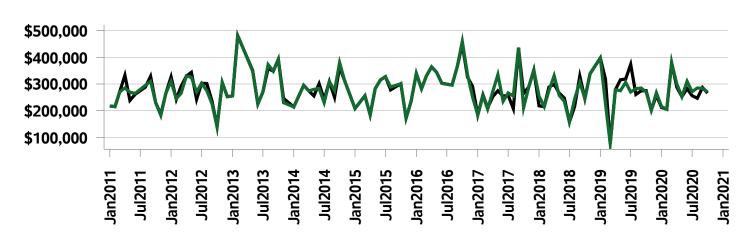
Active Listings (October only)



Months of Inventory (October only)



Average Price and Median Price

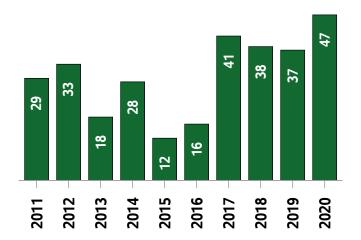




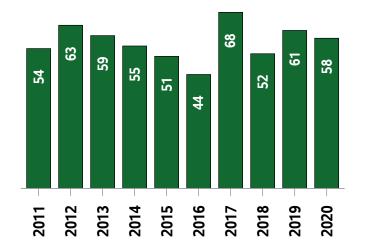
Elkford MLS® Single Family Market Activity



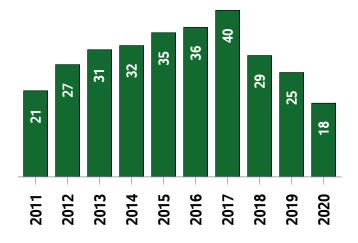




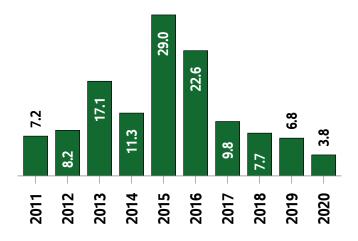
New Listings (October Year-to-date)



Active Listings 1 (October Year-to-date)



Months of Inventory ² (October Year-to-date)



¹ The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year

² Average active listings January to the current month/average of sales January to the current month



Elkford MLS® Single Family Market Activity



				Compa	red to '		
Actual	October 2020	October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Sales Activity	9	200.0	350.0	125.0	800.0	350.0	350.0
Dollar Volume	\$2,392,500	190.0	387.8	126.2	694.9	204.8	577.8
New Listings	3	-40.0	50.0	0.0	50.0	-40.0	50.0
Active Listings	10	-56.5	-60.0	-70.6	-67.7	-68.8	-47.4
Sales to New Listings Ratio 1	300.0	60.0	100.0	133.3	50.0	40.0	100.0
Months of Inventory ²	1.1	7.7	12.5	8.5	31.0	16.0	9.5
Average Price	\$265,833	-3.3	8.4	0.6	-11.7	-32.3	50.6
Median Price	\$270,000	0.0	10.1	28.0	-10.3	-31.2	53.0
Sales to List Price Ratio	96.9	97.3	97.3	92.3	95.7	95.7	92.4
Median Days on Market	42.0	121.0	79.0	230.5	27.0	295.5	110.5
				Compa	red to 6		
Year-to-date	October 2020	October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Year-to-date Sales Activity				October	October		
	2020	2019	2018	October 2017	October 2015	2013	2010
Sales Activity	2020	27.0	23.7	October 2017 14.6	October 2015 291.7	2013 161.1	235.7
Sales Activity Dollar Volume	2020 47 \$12,501,300	2019 27.0 11.5	2018 23.7 27.9	October 2017 14.6 14.8	October 2015 291.7 297.1	2013 161.1 105.8	2010 235.7 306.7
Sales Activity Dollar Volume New Listings	2020 47 \$12,501,300 58	2019 27.0 11.5 -4.9	2018 23.7 27.9 11.5	October 2017 14.6 14.8 -14.7	October 2015 291.7 297.1 13.7	2013 161.1 105.8 -1.7	2010 235.7 306.7 20.8
Sales Activity Dollar Volume New Listings Active Listings ³	2020 47 \$12,501,300 58 18	2019 27.0 11.5 -4.9 -29.4	2018 23.7 27.9 11.5 -39.2	October 2017 14.6 14.8 -14.7 -55.7	October 2015 291.7 297.1 13.7 -48.9	2013 161.1 105.8 -1.7 -42.0	2010 235.7 306.7 20.8 -13.6
Sales Activity Dollar Volume New Listings Active Listings Sales to New Listings Ratio 4	2020 47 \$12,501,300 58 18 81.0	2019 27.0 11.5 -4.9 -29.4 60.7	2018 23.7 27.9 11.5 -39.2 73.1	October 2017 14.6 14.8 -14.7 -55.7 60.3	October 2015 291.7 297.1 13.7 -48.9 23.5	2013 161.1 105.8 -1.7 -42.0 30.5	2010 235.7 306.7 20.8 -13.6 29.2
Sales Activity Dollar Volume New Listings Active Listings Sales to New Listings Ratio Months of Inventory	2020 47 \$12,501,300 58 18 81.0 3.8	2019 27.0 11.5 -4.9 -29.4 60.7 6.8	2018 23.7 27.9 11.5 -39.2 73.1 7.7	October 2017 14.6 14.8 -14.7 -55.7 60.3 9.8	October 2015 291.7 297.1 13.7 -48.9 23.5 29.0	2013 161.1 105.8 -1.7 -42.0 30.5 17.1	2010 235.7 306.7 20.8 -13.6 29.2 14.7
Sales Activity Dollar Volume New Listings Active Listings Sales to New Listings Ratio Months of Inventory Average Price	2020 47 \$12,501,300 58 18 81.0 3.8 \$265,985	2019 27.0 11.5 -4.9 -29.4 60.7 6.8 -12.2	2018 23.7 27.9 11.5 -39.2 73.1 7.7 3.4	October 2017 14.6 14.8 -14.7 -55.7 60.3 9.8 0.1	October 2015 291.7 297.1 13.7 -48.9 23.5 29.0 1.4	2013 161.1 105.8 -1.7 -42.0 30.5 17.1 -21.2	2010 235.7 306.7 20.8 -13.6 29.2 14.7 21.1

Sales / new listings * 100; Compared to levels from previous periods.

Source: Canadian MLS® Systems, CREA

Active listings at month end / monthly sales; Compared to levels from previous periods.

³ The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year.

 $^{^{\}rm 4}$ $\,$ Sum of sales from January to current month / sum of new listings from January to current month.

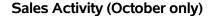
⁵ The year-to-date months of inventory figure is calculated as: average active listings from January to current month / average sales from January to current month.

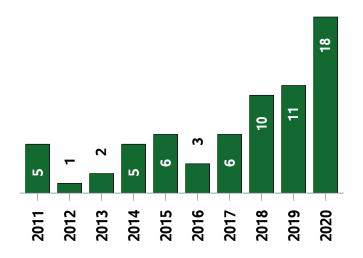
⁶ Sales to new listings ratio, months of inventory and median days on market shown as levels; all others calculated as percentage changes.



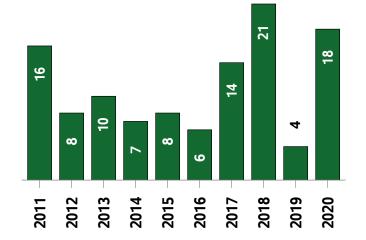
Invermere MLS® Residential Market Activity



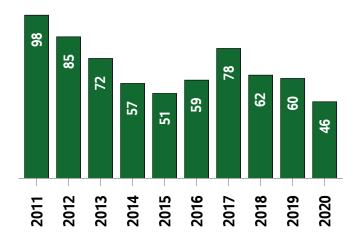




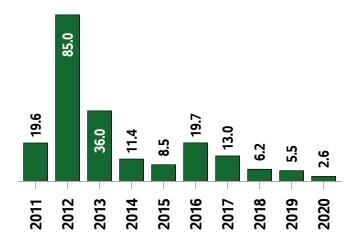
New Listings (October only)



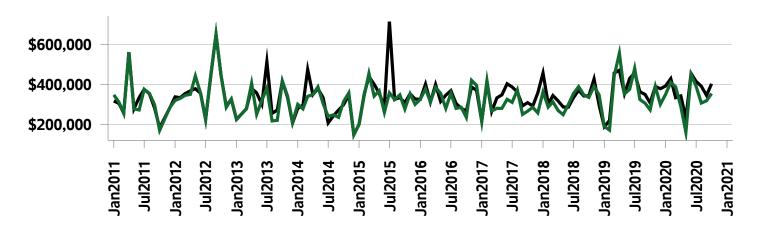
Active Listings (October only)



Months of Inventory (October only)



Average Price and Median Price

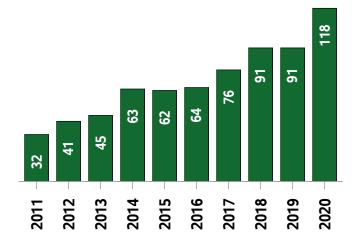




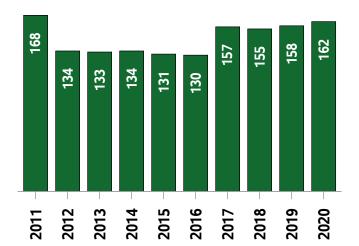
Invermere MLS® Residential Market Activity



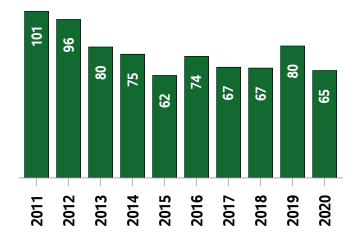
Sales Activity (October Year-to-date)



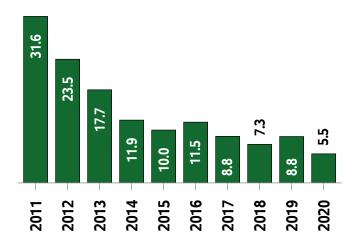
New Listings (October Year-to-date)



Active Listings ¹ (October Year-to-date)



Months of Inventory ² (October Year-to-date)



¹ The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year

² Average active listings January to the current month/average of sales January to the current month



Invermere MLS® Residential Market Activity



		Compared to ⁶						
Actual	October 2020	October 2019	October 2018	October 2017	October 2015	October 2013	October 2010	
Sales Activity	18	63.6	80.0	200.0	200.0	800.0	1,700.0	
Dollar Volume	\$7,247,000	114.4	111.7	291.6	292.6	772.1	1,637.9	
New Listings	18	350.0	-14.3	28.6	125.0	80.0	100.0	
Active Listings	46	-23.3	-25.8	-41.0	-9.8	-36.1	-34.3	
Sales to New Listings Ratio 1	100.0	275.0	47.6	42.9	75.0	20.0	11.1	
Months of Inventory 2	2.6	5.5	6.2	13.0	8.5	36.0	70.0	
Average Price	\$402,611	31.0	17.6	30.5	30.9	-3.1	-3.5	
Median Price	\$354,000	29.9	5.8	33.1	28.0	-14.8	-15.1	
Sales to List Price Ratio	96.6	95.6	95.5	96.4	94.7	96.2	97.2	
Median Days on Market	40.5	149.0	102.0	37.0	109.0	246.0	3.0	
				Compa	red to ⁶			
Year-to-date	October 2020	October 2019	October 2018	October 2017	October 2015	October 2013	October 2010	
Sales Activity	118	29.7	29.7	55.3	90.3	162.2	461.9	
Dollar Volume	\$45,117,471	32.2	48.8	68.8	84.2	185.9	486.9	
New Listings	162	2.5	4.5	3.2	23.7	21.8	0.6	
Active Listings ³	65	-18.6	-2.2	-3.0	4.8	-18.0	-12.7	
Sales to New Listings Ratio ⁴	72.8	57.6	58.7	48.4	47.3	33.8	13.0	
Months of Inventory ⁵	5.5	8.8	7.3	8.8	10.0	17.7	35.6	
Average Price	\$382,351	1.9	14.8	8.7	-3.2	9.0	4.5	
Median Price	\$359,450	-1.5	15.0	16.9	2.7	31.9	10.6	
Sales to List Price Ratio	96.7	96.7	95.6	95.7	95.8	94.8	93.4	
Median Days on Market	76.0	82.0	79.0	50.5	95.5	68.0	55.0	

Sales / new listings * 100; Compared to levels from previous periods.

 $^{^{\}rm 2}$ $\,$ Active listings at month end / monthly sales; Compared to levels from previous periods.

³ The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year.

 $^{^{\}rm 4}~$ Sum of sales from January to current month / sum of new listings from January to current month.

The year-to-date months of inventory figure is calculated as: average active listings from January to current month / average sales from January to current month.

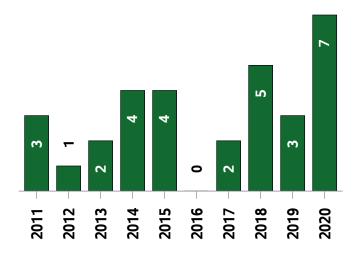
⁶ Sales to new listings ratio, months of inventory and median days on market shown as levels; all others calculated as percentage changes.



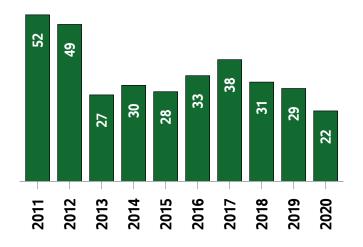
Invermere MLS® Single Family Market Activity



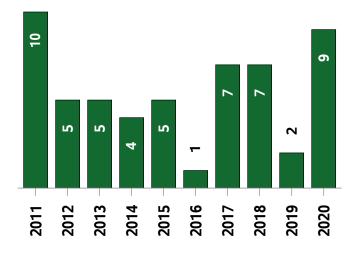
Sales Activity (October only)



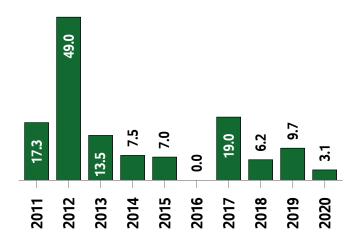
Active Listings (October only)



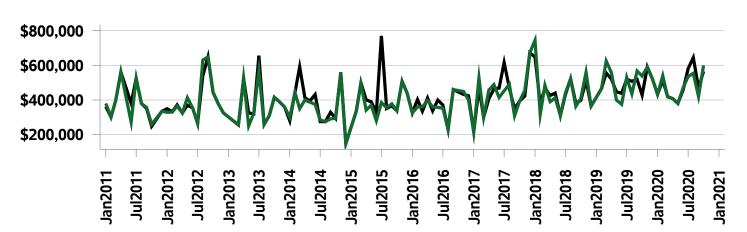
New Listings (October only)



Months of Inventory (October only)



Average Price and Median Price

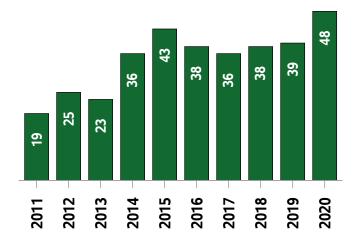




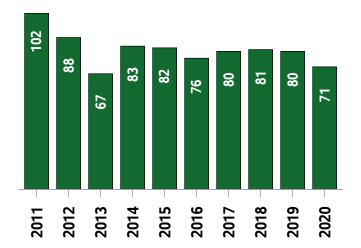
Invermere MLS® Single Family Market Activity



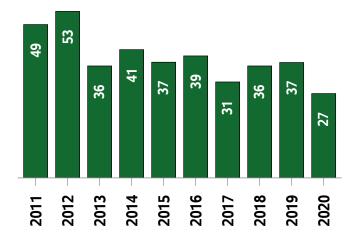
Sales Activity (October Year-to-date)



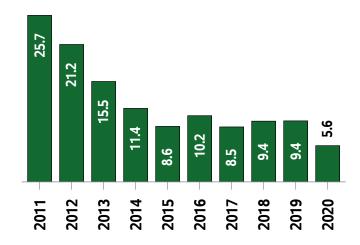
New Listings (October Year-to-date)



Active Listings 1 (October Year-to-date)



Months of Inventory ² (October Year-to-date)



¹ The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year

² Average active listings January to the current month/average of sales January to the current month



Invermere MLS® Single Family Market Activity



		Compared to ⁶						
Actual	October 2020	October 2019	October 2018	October 2017	October 2015	October 2013	October 2010	
Sales Activity	7	133.3	40.0	250.0	75.0	250.0	600.0	
Dollar Volume	\$3,957,000	208.4	98.9	403.1	192.6	376.2	848.9	
New Listings	9	350.0	28.6	28.6	80.0	80.0	50.0	
Active Listings	22	-24.1	-29.0	-42.1	-21.4	-18.5	-33.3	
Sales to New Listings Ratio 1	77.8	150.0	71.4	28.6	80.0	40.0	16.7	
Months of Inventory ²	3.1	9.7	6.2	19.0	7.0	13.5	33.0	
Average Price	\$565,286	32.2	42.1	43.7	67.2	36.0	35.6	
Median Price	\$599,000	11.3	46.1	52.3	77.5	44.2	43.6	
Sales to List Price Ratio	97.2	95.7	96.8	94.7	94.0	96.2	97.2	
Median Days on Market	30.0	149.0	88.0	34.0	109.0	246.0	3.0	
		149.0 88.0 34.0 109.0 246.0 3.0						
				Compa	red to ⁶			
Year-to-date	October 2020	October 2019	October 2018	Compa October 2017	October 2015	October 2013	October 2010	
Year-to-date Sales Activity				October	October			
	2020	2019	2018	October 2017	October 2015	2013	2010	
Sales Activity	2020	2019	26.3	October 2017 33.3	October 2015 11.6	108.7	200.0	
Sales Activity Dollar Volume	2020 48 \$24,497,199	2019 23.1 27.1	2018 26.3 47.0	October 2017 33.3 53.4	October 2015 11.6 25.5	2013 108.7 142.1	2010 200.0 292.0	
Sales Activity Dollar Volume New Listings	2020 48 \$24,497,199 71	2019 23.1 27.1 -11.3	2018 26.3 47.0 -12.3	October 2017 33.3 53.4 -11.3	October 2015 11.6 25.5 -13.4	2013 108.7 142.1 6.0	2010 200.0 292.0 -19.3	
Sales Activity Dollar Volume New Listings Active Listings	2020 48 \$24,497,199 71 27	2019 23.1 27.1 -11.3 -26.9	2018 26.3 47.0 -12.3 -24.6	October 2017 33.3 53.4 -11.3 -12.1	October 2015 11.6 25.5 -13.4 -27.1	2013 108.7 142.1 6.0 -24.6	2010 200.0 292.0 -19.3 -29.6	
Sales Activity Dollar Volume New Listings Active Listings Sales to New Listings Ratio 4	2020 48 \$24,497,199 71 27 67.6	2019 23.1 27.1 -11.3 -26.9 48.8	2018 26.3 47.0 -12.3 -24.6 46.9	October 2017 33.3 53.4 -11.3 -12.1 45.0	October 2015 11.6 25.5 -13.4 -27.1 52.4	2013 108.7 142.1 6.0 -24.6 34.3	2010 200.0 292.0 -19.3 -29.6 18.2	
Sales Activity Dollar Volume New Listings Active Listings Sales to New Listings Ratio Months of Inventory	2020 48 \$24,497,199 71 27 67.6 5.6	2019 23.1 27.1 -11.3 -26.9 48.8 9.4	2018 26.3 47.0 -12.3 -24.6 46.9 9.4	October 2017 33.3 53.4 -11.3 -12.1 45.0 8.5	October 2015 11.6 25.5 -13.4 -27.1 52.4 8.6	2013 108.7 142.1 6.0 -24.6 34.3 15.5	2010 200.0 292.0 -19.3 -29.6 18.2 23.9	
Sales Activity Dollar Volume New Listings Active Listings Sales to New Listings Ratio Months of Inventory Average Price	2020 48 \$24,497,199 71 27 67.6 5.6 \$510,358	2019 23.1 27.1 -11.3 -26.9 48.8 9.4 3.3	2018 26.3 47.0 -12.3 -24.6 46.9 9.4 16.4	October 2017 33.3 53.4 -11.3 -12.1 45.0 8.5 15.0	October 2015 11.6 25.5 -13.4 -27.1 52.4 8.6 12.4	2013 108.7 142.1 6.0 -24.6 34.3 15.5 16.0	2010 200.0 292.0 -19.3 -29.6 18.2 23.9 30.7	

Sales / new listings * 100; Compared to levels from previous periods.

Active listings at month end / monthly sales; Compared to levels from previous periods.

³ The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year.

 $^{^{\}rm 4}$ $\,$ Sum of sales from January to current month / sum of new listings from January to current month.

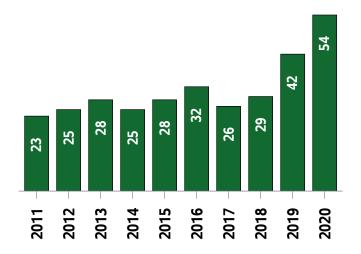
The year-to-date months of inventory figure is calculated as: average active listings from January to current month / average sales from January to current month.

⁶ Sales to new listings ratio, months of inventory and median days on market shown as levels; all others calculated as percentage changes.

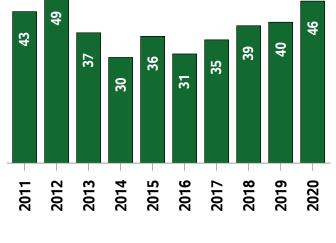


Cranbrook MLS® Residential Market Activity

Sales Activity (October only)

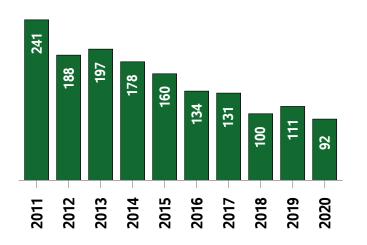


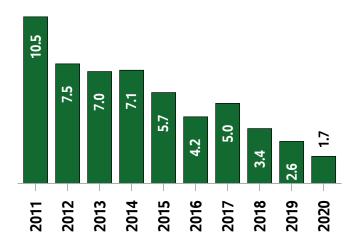
Active Listings (October only)



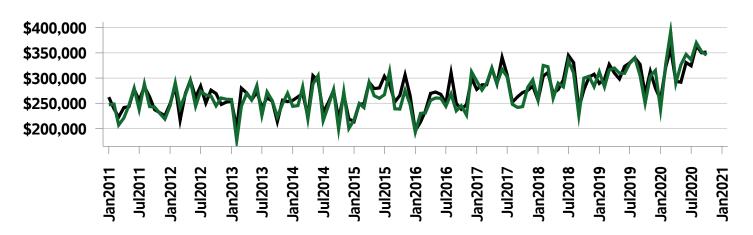
New Listings (October only)

Months of Inventory (October only)





Average Price and Median Price

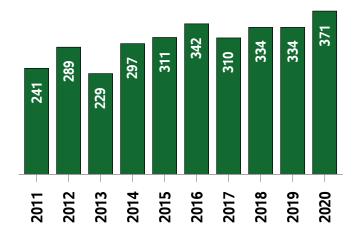




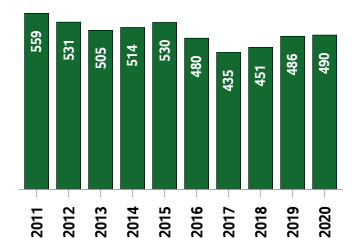
Cranbrook MLS® Residential Market Activity



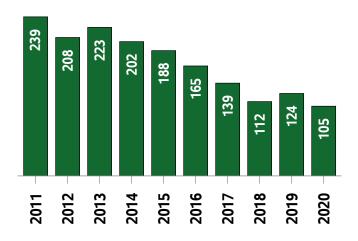
Sales Activity (October Year-to-date)



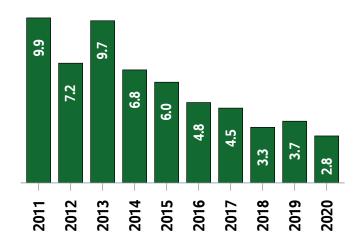
New Listings (October Year-to-date)



Active Listings ¹ (October Year-to-date)



Months of Inventory ² (October Year-to-date)



¹ The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year

² Average active listings January to the current month/average of sales January to the current month



Cranbrook MLS® Residential Market Activity



			Compared to ⁶						
Actual	October 2020	October 2019	October 2018	October 2017	October 2015	October 2013	October 2010		
Sales Activity	54	28.6	86.2	107.7	92.9	92.9	184.2		
Dollar Volume	\$18,993,475	68.6	136.9	169.3	155.4	217.4	306.7		
New Listings	46	15.0	17.9	31.4	27.8	24.3	4.5		
Active Listings	92	-17.1	-8.0	-29.8	-42.5	-53.3	-56.6		
Sales to New Listings Ratio 1	117.4	105.0	74.4	74.3	77.8	75.7	43.2		
Months of Inventory 2	1.7	2.6	3.4	5.0	5.7	7.0	11.2		
Average Price	\$351,731	31.1	27.2	29.7	32.4	64.6	43.1		
Median Price	\$345,500	38.2	15.2	42.0	44.9	54.9	46.4		
Sales to List Price Ratio	97.9	95.7	97.3	96.7	95.8	97.1	95.6		
Median Days on Market	29.5	62.5	47.0	55.5	56.5	56.0	87.0		
		62.5 47.0 55.5 56.5 56.0 87.0							
				Compa	red to '	<u>'</u>	<u>'</u>		
Year-to-date	October 2020	October 2019	October 2018	Compa October 2017	October 2015	October 2013	October 2010		
Year-to-date Sales Activity				October	October	I			
	2020	2019	2018	October 2017	October 2015	2013	2010		
Sales Activity	2020 371	2019 11.1	2018 11.1	October 2017 19.7	October 2015 19.3	2013 62.0	71.0		
Sales Activity Dollar Volume	2020 371 \$123,712,177	2019 11.1 18.7	2018 11.1 26.0	October 2017 19.7 36.5	October 2015 19.3 45.5	2013 62.0 117.1	71.0 123.9		
Sales Activity Dollar Volume New Listings	2020 371 \$123,712,177 490	2019 11.1 18.7 0.8	2018 11.1 26.0 8.6	October 2017 19.7 36.5	October 2015 19.3 45.5 -7.5	2013 62.0 117.1 -3.0	71.0 123.9 -19.9		
Sales Activity Dollar Volume New Listings Active Listings	2020 371 \$123,712,177 490 105	2019 11.1 18.7 0.8 -15.4	2018 11.1 26.0 8.6 -6.2	October 2017 19.7 36.5 12.6 -24.8	October 2015 19.3 45.5 -7.5 -44.3	2013 62.0 117.1 -3.0 -53.0	71.0 123.9 -19.9 -43.4		
Sales Activity Dollar Volume New Listings Active Listings Sales to New Listings Ratio 4	2020 371 \$123,712,177 490 105 75.7	2019 11.1 18.7 0.8 -15.4 68.7	2018 11.1 26.0 8.6 -6.2 74.1	October 2017 19.7 36.5 12.6 -24.8 71.3	October 2015 19.3 45.5 -7.5 -44.3 58.7	2013 62.0 117.1 -3.0 -53.0 45.3	71.0 123.9 -19.9 -43.4 35.5		
Sales Activity Dollar Volume New Listings Active Listings Sales to New Listings Ratio Months of Inventory	2020 371 \$123,712,177 490 105 75.7 2.8	2019 11.1 18.7 0.8 -15.4 68.7 3.7	2018 11.1 26.0 8.6 -6.2 74.1 3.3	October 2017 19.7 36.5 12.6 -24.8 71.3 4.5	October 2015 19.3 45.5 -7.5 -44.3 58.7 6.0	2013 62.0 117.1 -3.0 -53.0 45.3 9.7	2010 71.0 123.9 -19.9 -43.4 35.5 8.5		
Sales Activity Dollar Volume New Listings Active Listings Sales to New Listings Ratio Months of Inventory Average Price	2020 371 \$123,712,177 490 105 75.7 2.8 \$333,456	2019 11.1 18.7 0.8 -15.4 68.7 3.7 6.9	2018 11.1 26.0 8.6 -6.2 74.1 3.3 13.5	October 2017 19.7 36.5 12.6 -24.8 71.3 4.5 14.0	October 2015 19.3 45.5 -7.5 -44.3 58.7 6.0 21.9	2013 62.0 117.1 -3.0 -53.0 45.3 9.7 34.0	2010 71.0 123.9 -19.9 -43.4 35.5 8.5 30.9		

Sales / new listings * 100; Compared to levels from previous periods.

Active listings at month end / monthly sales; Compared to levels from previous periods.

³ The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year.

 $^{^{\}rm 4}~$ Sum of sales from January to current month / sum of new listings from January to current month.

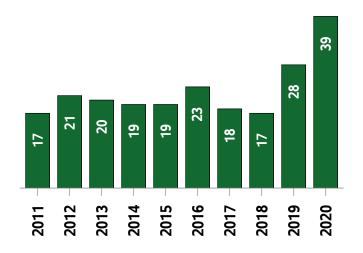
The year-to-date months of inventory figure is calculated as: average active listings from January to current month / average sales from January to current month.

⁶ Sales to new listings ratio, months of inventory and median days on market shown as levels; all others calculated as percentage changes.

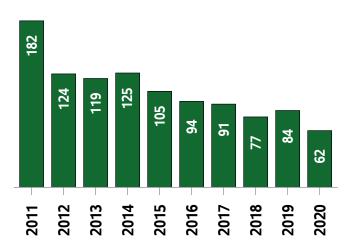


Cranbrook MLS® Single Family Market Activity

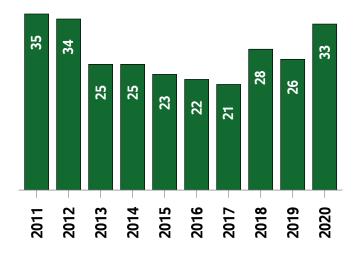
Sales Activity (October only)



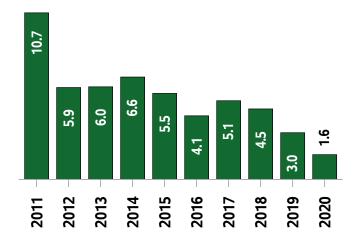
Active Listings (October only)



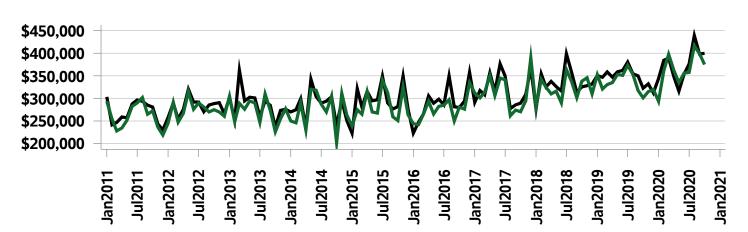
New Listings (October only)



Months of Inventory (October only)



Average Price and Median Price

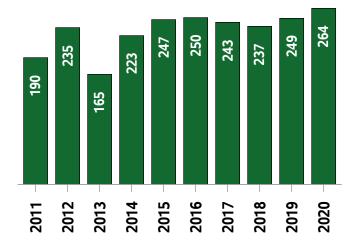




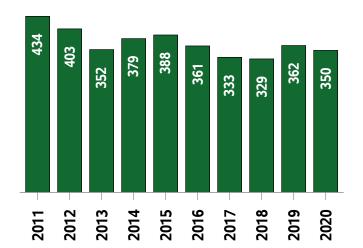
Cranbrook MLS® Single Family Market Activity



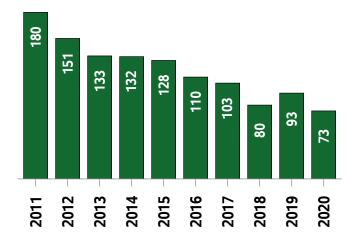
Sales Activity (October Year-to-date)



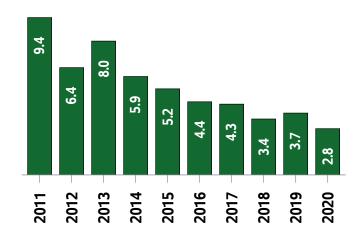
New Listings (October Year-to-date)



Active Listings 1 (October Year-to-date)



Months of Inventory ² (October Year-to-date)



¹ The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year

² Average active listings January to the current month/average of sales January to the current month



Cranbrook MLS® Single Family Market Activity



			Compared to ⁶						
Actual	October 2020	October 2019	October 2018	October 2017	October 2015	October 2013	October 2010		
Sales Activity	39	39.3	129.4	116.7	105.3	95.0	143.8		
Dollar Volume	\$15,588,475	72.6	181.6	199.2	191.1	229.7	281.2		
New Listings	33	26.9	17.9	57.1	43.5	32.0	3.1		
Active Listings	62	-26.2	-19.5	-31.9	-41.0	-47.9	-62.7		
Sales to New Listings Ratio 1	118.2	107.7	60.7	85.7	82.6	80.0	50.0		
Months of Inventory ²	1.6	3.0	4.5	5.1	5.5	6.0	10.4		
Average Price	\$399,704	23.9	22.8	38.1	41.8	69.1	56.4		
Median Price	\$375,000	24.5	10.9	38.6	49.4	65.9	55.3		
Sales to List Price Ratio	98.5	95.8	98.4	96.9	95.6	97.7	95.8		
Median Days on Market	29.0	57.0	41.0	55.0	50.0	56.0	71.0		
		57.0 41.0 55.0 50.0 56.0 71.0							
			<u> </u>	Compa	red to ⁶		<u>'</u>		
Year-to-date	October 2020	October 2019	October 2018	Compa October 2017	October 2015	October 2013	October 2010		
Year-to-date Sales Activity				October	October	l			
	2020	2019	2018	October 2017	October 2015	2013	2010		
Sales Activity	2020	6.0	2018 11.4	October 2017 8.6	October 2015 6.9	60.0	62.0		
Sales Activity Dollar Volume	2020 264 \$101,004,927	6.0 14.8	2018 11.4 26.3	October 2017 8.6 28.9	October 2015 6.9 37.4	2013 60.0 116.1	2010 62.0 122.4		
Sales Activity Dollar Volume New Listings	2020 264 \$101,004,927 350	6.0 14.8 -3.3	2018 11.4 26.3 6.4	October 2017 8.6 28.9 5.1	October 2015 6.9 37.4 -9.8	2013 60.0 116.1 -0.6	2010 62.0 122.4 -25.2		
Sales Activity Dollar Volume New Listings Active Listings	2020 264 \$101,004,927 350 73	2019 6.0 14.8 -3.3 -20.8	2018 11.4 26.3 6.4 -7.9	October 2017 8.6 28.9 5.1 -29.0	October 2015 6.9 37.4 -9.8 -42.6	2013 60.0 116.1 -0.6 -44.7	2010 62.0 122.4 -25.2 -48.5		
Sales Activity Dollar Volume New Listings Active Listings Sales to New Listings Ratio 4	2020 264 \$101,004,927 350 73 75.4	2019 6.0 14.8 -3.3 -20.8 68.8	2018 11.4 26.3 6.4 -7.9	October 2017 8.6 28.9 5.1 -29.0 73.0	October 2015 6.9 37.4 -9.8 -42.6 63.7	2013 60.0 116.1 -0.6 -44.7 46.9	2010 62.0 122.4 -25.2 -48.5 34.8		
Sales Activity Dollar Volume New Listings Active Listings Sales to New Listings Ratio Months of Inventory	2020 264 \$101,004,927 350 73 75.4 2.8	2019 6.0 14.8 -3.3 -20.8 68.8 3.7	2018 11.4 26.3 6.4 -7.9 72.0 3.4	October 2017 8.6 28.9 5.1 -29.0 73.0 4.3	October 2015 6.9 37.4 -9.8 -42.6 63.7 5.2	2013 60.0 116.1 -0.6 -44.7 46.9 8.0	2010 62.0 122.4 -25.2 -48.5 34.8 8.7		
Sales Activity Dollar Volume New Listings Active Listings Sales to New Listings Ratio Months of Inventory Average Price	2020 264 \$101,004,927 350 73 75.4 2.8 \$382,594	2019 6.0 14.8 -3.3 -20.8 68.8 3.7 8.2	2018 11.4 26.3 6.4 -7.9 72.0 3.4 13.4	October 2017 8.6 28.9 5.1 -29.0 73.0 4.3 18.6	October 2015 6.9 37.4 -9.8 -42.6 63.7 5.2 28.5	2013 60.0 116.1 -0.6 -44.7 46.9 8.0 35.1	2010 62.0 122.4 -25.2 -48.5 34.8 8.7 37.3		

Sales / new listings * 100; Compared to levels from previous periods.

 $^{^{2}\,}$ Active listings at month end / monthly sales; Compared to levels from previous periods.

³ The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year.

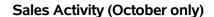
 $^{^{\}rm 4}$ $\,$ Sum of sales from January to current month / sum of new listings from January to current month.

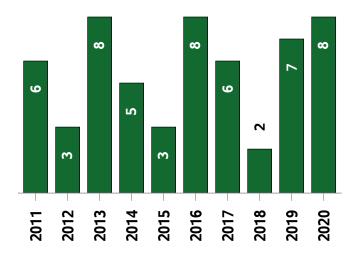
The year-to-date months of inventory figure is calculated as: average active listings from January to current month / average sales from January to current month.

⁶ Sales to new listings ratio, months of inventory and median days on market shown as levels; all others calculated as percentage changes.

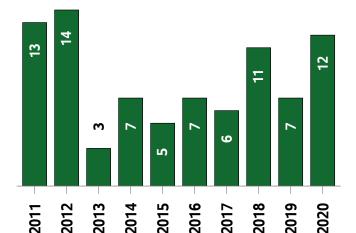


Cranbrook Lakes MLS® Residential Market Activity



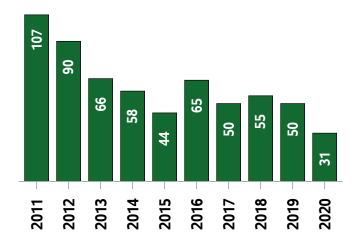


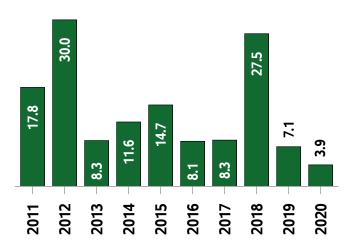
Active Listings (October only)



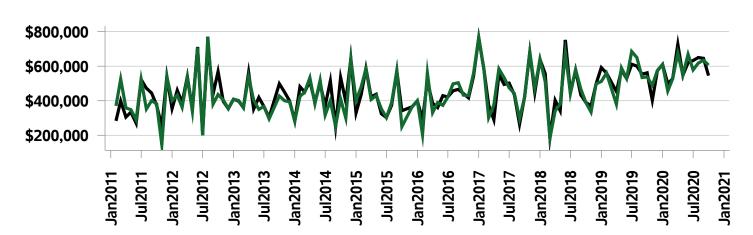
New Listings (October only)

Months of Inventory (October only)





Average Price and Median Price

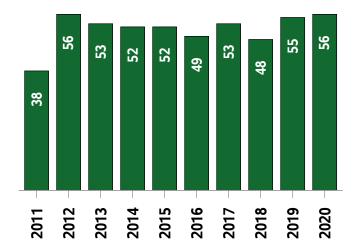




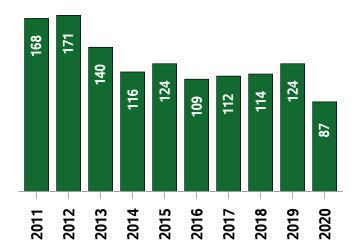
Cranbrook Lakes MLS® Residential Market Activity



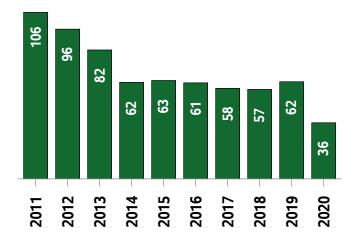
Sales Activity (October Year-to-date)



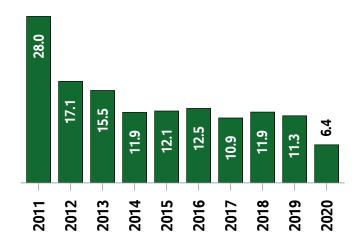
New Listings (October Year-to-date)



Active Listings ¹ (October Year-to-date)



Months of Inventory ² (October Year-to-date)



¹ The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year

² Average active listings January to the current month/average of sales January to the current month



Cranbrook Lakes MLS® Residential Market Activity

				Compa	red to ⁶		
Actual	October 2020	October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Sales Activity	8	14.3	300.0	33.3	166.7	0.0	14.3
Dollar Volume	\$4,363,000	11.0	459.4	72.4	325.2	9.5	83.9
New Listings	12	71.4	9.1	100.0	140.0	300.0	0.0
Active Listings	31	-38.0	-43.6	-38.0	-29.5	-53.0	-65.2
Sales to New Listings Ratio 1	66.7	100.0	18.2	100.0	60.0	266.7	58.3
Months of Inventory ²	3.9	7.1	27.5	8.3	14.7	8.3	12.7
Average Price	\$545,375	-2.9	39.8	29.3	59.5	9.5	60.9
Median Price	\$606,000	12.6	55.4	44.3	142.4	41.8	77.2
Sales to List Price Ratio	94.0	95.9	96.5	97.2	95.9	92.2	93.5
Median Days on Market	58.5	136.0	89.0	87.0	24.0	154.5	78.0
				Compa	red to ⁶		
Year-to-date	October 2020	October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Year-to-date Sales Activity				October	October		
	2020	2019	2018	October 2017	October 2015	2013	2010
Sales Activity	2020	1.8	2018 16.7	October 2017 5.7	October 2015 7.7	2013 5.7	40.0
Sales Activity Dollar Volume	2020 56 \$33,970,700	2019 1.8 9.3	2018 16.7 46.8	October 2017 5.7 44.0	October 2015 7.7 58.0	5.7 48.4	2010 40.0 152.2
Sales Activity Dollar Volume New Listings	2020 56 \$33,970,700 87	2019 1.8 9.3 -29.8	2018 16.7 46.8 -23.7	October 2017 5.7 44.0 -22.3	October 2015 7.7 58.0 -29.8	5.7 48.4 -37.9	2010 40.0 152.2 -56.7
Sales Activity Dollar Volume New Listings Active Listings ³	2020 56 \$33,970,700 87 36	2019 1.8 9.3 -29.8 -42.2	2018 16.7 46.8 -23.7 -37.2	October 2017 5.7 44.0 -22.3 -38.0	October 2015 7.7 58.0 -29.8 -42.9	5.7 48.4 -37.9 -56.4	2010 40.0 152.2 -56.7 -49.4
Sales Activity Dollar Volume New Listings Active Listings Sales to New Listings Ratio 4	2020 56 \$33,970,700 87 36 64.4	2019 1.8 9.3 -29.8 -42.2 44.4	2018 16.7 46.8 -23.7 -37.2 42.1	October 2017 5.7 44.0 -22.3 -38.0 47.3	October 2015 7.7 58.0 -29.8 -42.9 41.9	2013 5.7 48.4 -37.9 -56.4 37.9	2010 40.0 152.2 -56.7 -49.4 19.9
Sales Activity Dollar Volume New Listings Active Listings Sales to New Listings Ratio Months of Inventory	2020 56 \$33,970,700 87 36 64.4 6.4	2019 1.8 9.3 -29.8 -42.2 44.4 11.3	2018 16.7 46.8 -23.7 -37.2 42.1 11.9	October 2017 5.7 44.0 -22.3 -38.0 47.3 10.9	October 2015 7.7 58.0 -29.8 -42.9 41.9 12.1	2013 5.7 48.4 -37.9 -56.4 37.9 15.5	2010 40.0 152.2 -56.7 -49.4 19.9 17.7
Sales Activity Dollar Volume New Listings Active Listings Sales to New Listings Ratio Months of Inventory Average Price	2020 56 \$33,970,700 87 36 64.4 6.4 \$606,620	2019 1.8 9.3 -29.8 -42.2 44.4 11.3 7.3	2018 16.7 46.8 -23.7 -37.2 42.1 11.9 25.9	October 2017 5.7 44.0 -22.3 -38.0 47.3 10.9 36.3	October 2015 7.7 58.0 -29.8 -42.9 41.9 12.1 46.7	2013 5.7 48.4 -37.9 -56.4 37.9 15.5 40.5	2010 40.0 152.2 -56.7 -49.4 19.9 17.7 80.1

Sales / new listings * 100; Compared to levels from previous periods.

Active listings at month end / monthly sales; Compared to levels from previous periods.

³ The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year.

 $^{^{\}rm 4}~$ Sum of sales from January to current month / sum of new listings from January to current month.

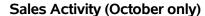
The year-to-date months of inventory figure is calculated as: average active listings from January to current month / average sales from January to current month.

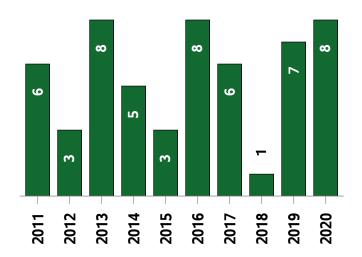
⁶ Sales to new listings ratio, months of inventory and median days on market shown as levels; all others calculated as percentage changes.



Cranbrook Lakes MLS® Single Family Market Activity

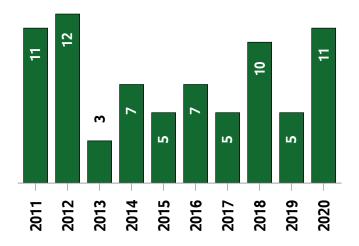




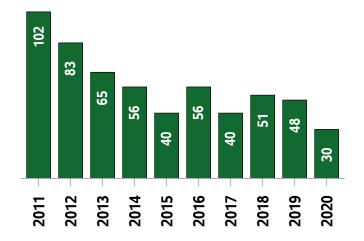


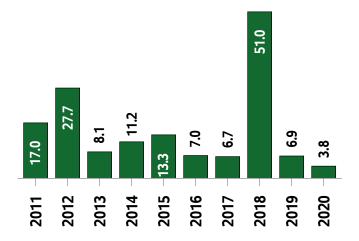
Active Listings (October only)

New Listings (October only)

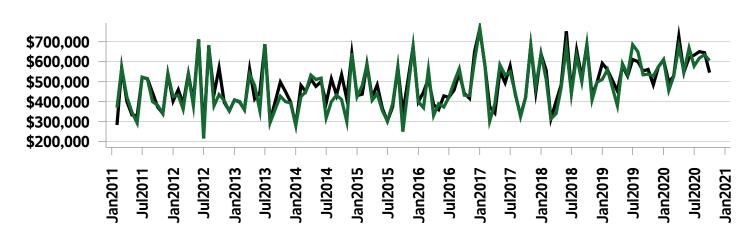


Months of Inventory (October only)





Average Price and Median Price

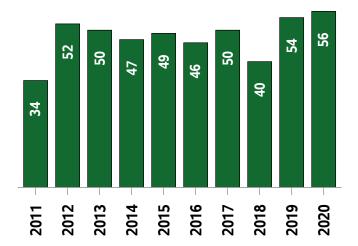




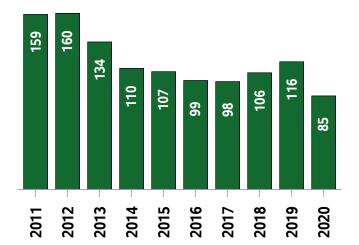
Cranbrook Lakes MLS® Single Family Market Activity



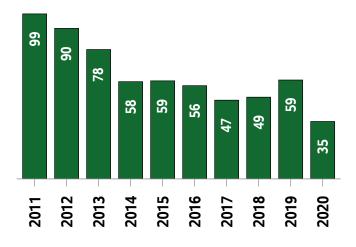
Sales Activity (October Year-to-date)



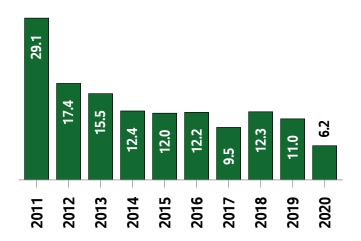
New Listings (October Year-to-date)



Active Listings 1 (October Year-to-date)



Months of Inventory ² (October Year-to-date)



¹ The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year

² Average active listings January to the current month/average of sales January to the current month



Cranbrook Lakes MLS® Single Family Market Activity



			Compared to ⁶						
Actual	October 2020	October 2019	October 2018	October 2017	October 2015	October 2013	October 2010		
Sales Activity	8	14.3	700.0	33.3	166.7	0.0	33.3		
Dollar Volume	\$4,363,000	11.0	536.9	72.4	325.2	9.5	87.0		
New Listings	11	120.0	10.0	120.0	120.0	266.7	10.0		
Active Listings	30	-37.5	-41.2	-25.0	-25.0	-53.8	-64.3		
Sales to New Listings Ratio 1	72.7	140.0	10.0	120.0	60.0	266.7	60.0		
Months of Inventory ²	3.8	6.9	51.0	6.7	13.3	8.1	14.0		
Average Price	\$545,375	-2.9	-20.4	29.3	59.5	9.5	40.3		
Median Price	\$606,000	12.6	-11.5	44.3	142.4	41.8	77.1		
Sales to List Price Ratio	94.0	95.9	97.9	97.2	95.9	92.2	95.8		
Median Days on Market	58.5	136.0	27.0	87.0	24.0	154.5	96.0		
				Compa	red to ⁶				
Year-to-date	October 2020	October 2019	October 2018	October 2017	October 2015	October 2013	October 2010		
Year-to-date Sales Activity				October	October				
	2020	2019	2018	October 2017	October 2015	2013	2010		
Sales Activity	2020 56	3.7	40.0	October 2017 12.0	October 2015 14.3	12.0	2010 69.7		
Sales Activity Dollar Volume	2020 56 \$33,970,700	3.7 11.2	2018 40.0 51.1	October 2017 12.0 44.8	October 2015 14.3 58.5	2013 12.0 49.4	2010 69.7 161.6		
Sales Activity Dollar Volume New Listings	2020 56 \$33,970,700 85	2019 3.7 11.2 -26.7	2018 40.0 51.1 -19.8	October 2017 12.0 44.8 -13.3	October 2015 14.3 58.5 -20.6	2013 12.0 49.4 -36.6	2010 69.7 161.6 -54.1		
Sales Activity Dollar Volume New Listings Active Listings	2020 56 \$33,970,700 85 35	2019 3.7 11.2 -26.7 -41.9	2018 40.0 51.1 -19.8 -29.7	October 2017 12.0 44.8 -13.3 -27.1	October 2015 14.3 58.5 -20.6 -41.4	2013 12.0 49.4 -36.6 -55.6	2010 69.7 161.6 -54.1 -48.2		
Sales Activity Dollar Volume New Listings Active Listings Sales to New Listings Ratio 4	2020 56 \$33,970,700 85 35 65.9	2019 3.7 11.2 -26.7 -41.9 46.6	2018 40.0 51.1 -19.8 -29.7 37.7	October 2017 12.0 44.8 -13.3 -27.1 51.0	October 2015 14.3 58.5 -20.6 -41.4 45.8	2013 12.0 49.4 -36.6 -55.6	2010 69.7 161.6 -54.1 -48.2 17.8		
Sales Activity Dollar Volume New Listings Active Listings Sales to New Listings Ratio Months of Inventory	2020 56 \$33,970,700 85 35 65.9 6.2	2019 3.7 11.2 -26.7 -41.9 46.6 11.0	2018 40.0 51.1 -19.8 -29.7 37.7 12.3	October 2017 12.0 44.8 -13.3 -27.1 51.0 9.5	October 2015 14.3 58.5 -20.6 -41.4 45.8 12.0	2013 12.0 49.4 -36.6 -55.6 37.3 15.5	2010 69.7 161.6 -54.1 -48.2 17.8 20.2		
Sales Activity Dollar Volume New Listings Active Listings Sales to New Listings Ratio Months of Inventory Average Price	2020 56 \$33,970,700 85 35 65.9 6.2 \$606,620	2019 3.7 11.2 -26.7 -41.9 46.6 11.0 7.2	2018 40.0 51.1 -19.8 -29.7 37.7 12.3 7.9	October 2017 12.0 44.8 -13.3 -27.1 51.0 9.5 29.3	October 2015 14.3 58.5 -20.6 -41.4 45.8 12.0 38.7	2013 12.0 49.4 -36.6 -55.6 37.3 15.5 33.4	2010 69.7 161.6 -54.1 -48.2 17.8 20.2 54.2		

Sales / new listings * 100; Compared to levels from previous periods.

Active listings at month end / monthly sales; Compared to levels from previous periods.

³ The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year.

 $^{^{\}rm 4}$ $\,$ Sum of sales from January to current month / sum of new listings from January to current month.

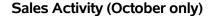
The year-to-date months of inventory figure is calculated as: average active listings from January to current month / average sales from January to current month.

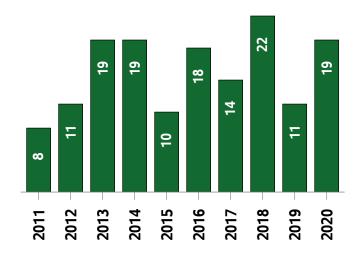
⁶ Sales to new listings ratio, months of inventory and median days on market shown as levels; all others calculated as percentage changes.



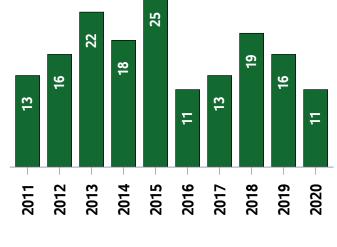
Fernie MLS® Residential Market Activity

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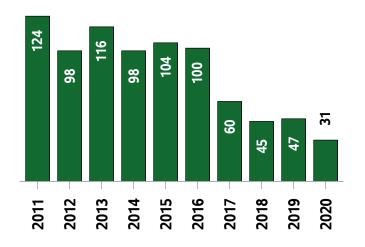


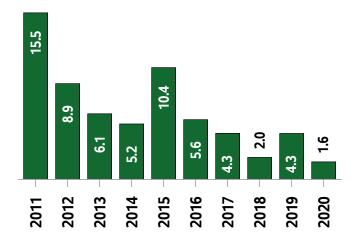
Active Listings (October only)



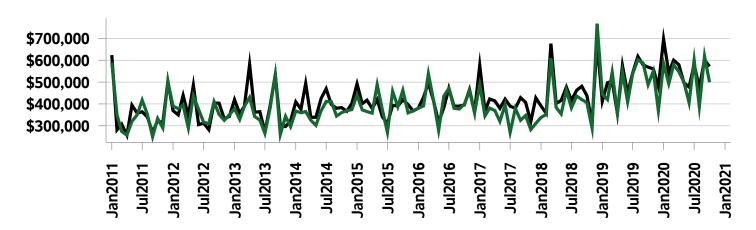
New Listings (October only)

Months of Inventory (October only)





Average Price and Median Price

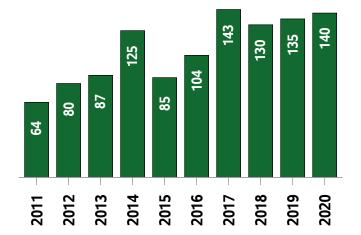




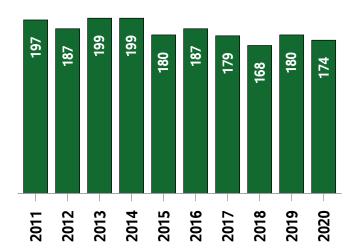
Fernie MLS® Residential Market Activity



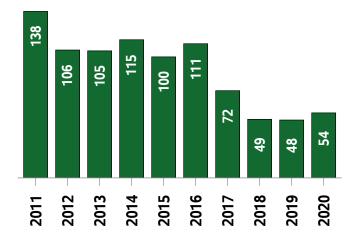




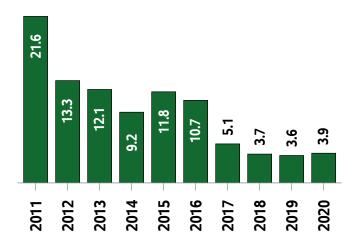
New Listings (October Year-to-date)



Active Listings 1 (October Year-to-date)



Months of Inventory ² (October Year-to-date)



¹ The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year

² Average active listings January to the current month/average of sales January to the current month



Fernie MLS® Residential Market Activity

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		Compared to ⁶						
Actual	October 2020	October 2019	October 2018	October 2017	October 2015	October 2013	October 2010	
Sales Activity	19	72.7	-13.6	35.7	90.0	0.0	35.7	
Dollar Volume	\$10,856,800	73.6	12.5	90.3	159.1	89.6	132.9	
New Listings	11	-31.3	-42.1	-15.4	-56.0	-50.0	-45.0	
Active Listings	31	-34.0	-31.1	-48.3	-70.2	-73.3	-75.2	
Sales to New Listings Ratio 1	172.7	68.8	115.8	107.7	40.0	86.4	70.0	
Months of Inventory ²	1.6	4.3	2.0	4.3	10.4	6.1	8.9	
Average Price	\$571,411	0.5	30.3	40.2	36.4	89.6	71.6	
Median Price	\$499,000	2.3	22.8	43.8	7.9	91.9	55.3	
Sales to List Price Ratio	98.7	97.9	97.1	97.7	96.1	95.5	93.7	
Median Days on Market	34.0	59.0	48.0	72.5	74.5	84.0	46.5	
				Compa	red to ⁶			
Year-to-date	October 2020	October 2019	October 2018	October 2017	October 2015	October 2013	October 2010	
Sales Activity	140	3.7	7.7	-2.1	64.7	60.9	86.7	
Dollar Volume	\$77,208,185	10.0	32.4	30.4	134.4	143.6	199.0	
New Listings	174	-3.3	3.6	-2.8	-3.3	-12.6	-33.8	
Active Listings ³	54	12.3	10.9	-25.4	-46.3	-48.8	-43.4	
Sales to New Listings Ratio ⁴	80.5	75.0	77.4	79.9	47.2	43.7	28.5	
Months of Inventory 5	3.9	3.6	3.7	5.1	11.8	12.1	12.7	
Average Price	\$551,487	6.1	22.9	33.2	42.3	51.4	60.2	
Median Price	\$538,500	17.3	28.9	45.9	39.9	57.5	62.0	
Sales to List Price Ratio	07.9	97.7	97.4	96.9	95.3	95.3	94.9	
Sales to List Frice Ratio	97.8	37.7	37.4	30.3				

Sales / new listings * 100; Compared to levels from previous periods.

Source: Canadian MLS® Systems, CREA

 $^{^{2}\,}$ Active listings at month end / monthly sales; Compared to levels from previous periods.

³ The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year.

 $^{^{\}rm 4}~$ Sum of sales from January to current month / sum of new listings from January to current month.

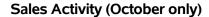
The year-to-date months of inventory figure is calculated as: average active listings from January to current month / average sales from January to current month.

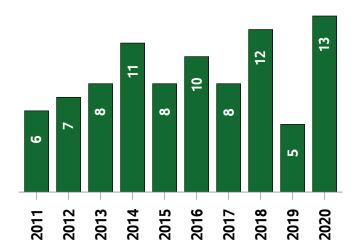
⁶ Sales to new listings ratio, months of inventory and median days on market shown as levels; all others calculated as percentage changes.



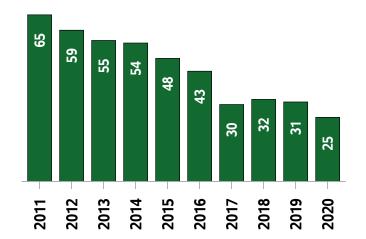
Fernie MLS® Single Family Market Activity



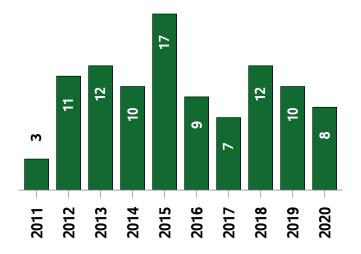




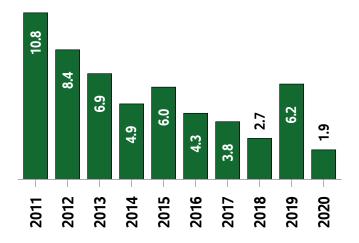
Active Listings (October only)



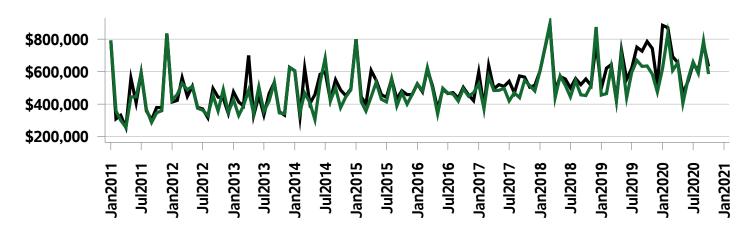
New Listings (October only)



Months of Inventory (October only)



Average Price and Median Price

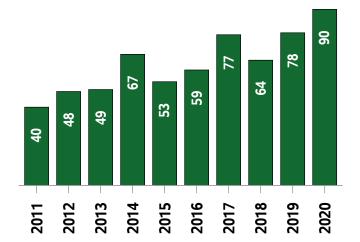




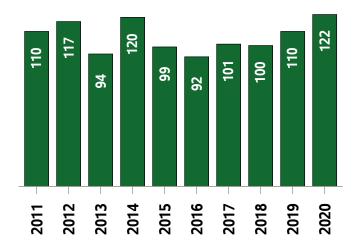
Fernie MLS® Single Family Market Activity



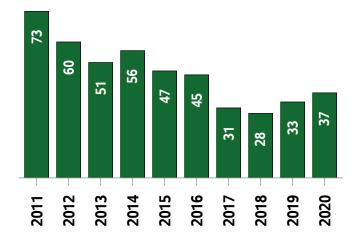
Sales Activity (October Year-to-date)



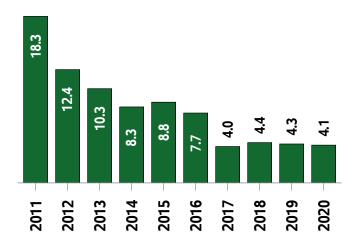
New Listings (October Year-to-date)



Active Listings 1 (October Year-to-date)



Months of Inventory ² (October Year-to-date)



¹ The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year

² Average active listings January to the current month/average of sales January to the current month



Fernie MLS® Single Family Market Activity



		Compared to ⁶						
Actual	October 2020	October 2019	October 2018	October 2017	October 2015	October 2013	October 2010	
Sales Activity	13	160.0	8.3	62.5	62.5	62.5	30.0	
Dollar Volume	\$8,216,000	109.2	23.3	81.3	112.7	190.5	103.1	
New Listings	8	-20.0	-33.3	14.3	-52.9	-33.3	-42.9	
Active Listings	25	-19.4	-21.9	-16.7	-47.9	-54.5	-63.8	
Sales to New Listings Ratio 1	162.5	50.0	100.0	114.3	47.1	66.7	71.4	
Months of Inventory 2	1.9	6.2	2.7	3.8	6.0	6.9	6.9	
Average Price	\$632,000	-19.6	13.9	11.6	30.9	78.8	56.2	
Median Price	\$585,000	-7.9	29.1	7.0	24.2	69.0	57.0	
Sales to List Price Ratio	98.3	96.8	96.9	98.6	99.5	97.0	93.9	
Median Days on Market	34.0	65.0	59.0	36.0	47.5	79.5	37.0	
				Compa	red to '			
Year-to-date	October 2020	October 2019	October 2018	October 2017	October 2015	October 2013	October 2010	
Sales Activity	90	15.4	40.6	16.9	69.8	83.7	95.7	
Dollar Volume	\$59,625,300	17.8	68.4	44.4	134.1	183.3	229.3	
New Listings	122	10.9	22.0	20.8	23.2	29.8	-18.1	
Active Listings ³	37	12.0	31.8	21.5	-20.5	-26.3	-22.9	
Sales to New Listings Ratio ⁴	73.8	70.9	64.0	76.2	53.5	52.1	30.9	
Months of Inventory ^⁵	4.1	4.3	4.4	4.0	8.8	10.3	10.5	
Average Price		2.1	19.8	23.6	37.9	54.2	68.3	
Average i lice	\$662,503	2,1						
Median Price	\$662,503 \$620,000	2.9	17.8	24.6	44.2	63.2	69.9	
				24.6 97.3	44.2 97.0	63.2 95.8	69.9 95.2	

Sales / new listings * 100; Compared to levels from previous periods.

 $^{^{2}\,\,}$ Active listings at month end / monthly sales; Compared to levels from previous periods.

³ The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year.

 $^{^{\}rm 4}$ $\,$ Sum of sales from January to current month / sum of new listings from January to current month.

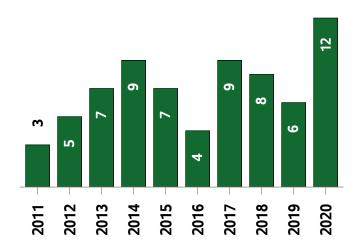
The year-to-date months of inventory figure is calculated as: average active listings from January to current month / average sales from January to current month.

⁶ Sales to new listings ratio, months of inventory and median days on market shown as levels; all others calculated as percentage changes.

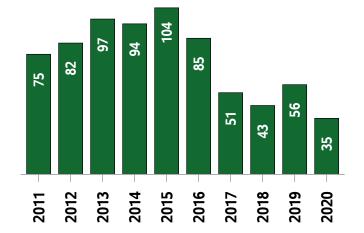


Grand ForksMLS® Residential Market Activity

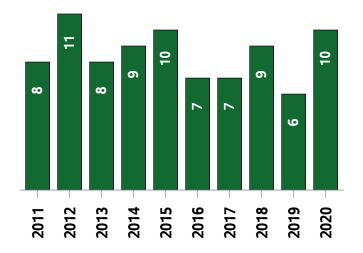
Sales Activity (October only)



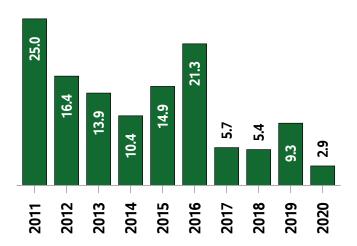
Active Listings (October only)



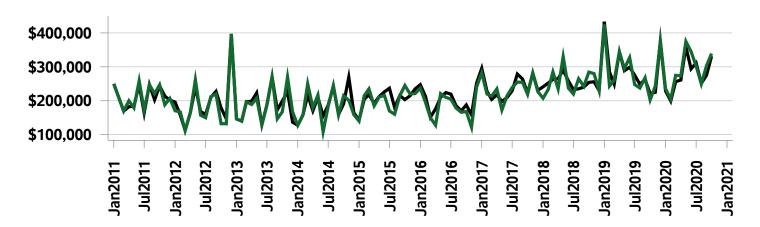
New Listings (October only)



Months of Inventory (October only)



Average Price and Median Price

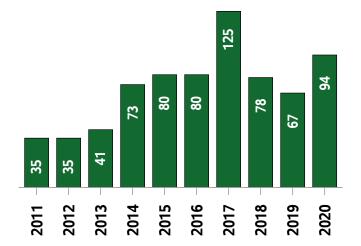




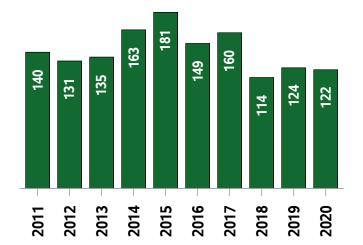
Grand ForksMLS® Residential Market Activity



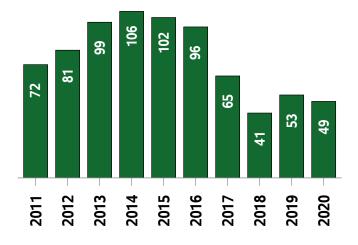




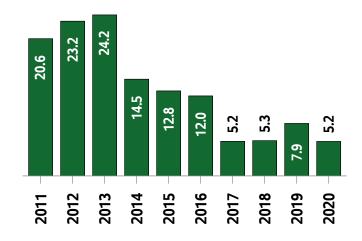
New Listings (October Year-to-date)



Active Listings 1 (October Year-to-date)



Months of Inventory ² (October Year-to-date)



¹ The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year

² Average active listings January to the current month/average of sales January to the current month



Grand ForksMLS® Residential Market Activity



				Compa	red to ⁶		
Actual	October 2020	October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Sales Activity	12	100.0	50.0	33.3	71.4	71.4	140.0
Dollar Volume	\$3,975,000	199.1	95.5	98.5	179.2	184.9	363.8
New Listings	10	66.7	11.1	42.9	0.0	25.0	0.0
Active Listings	35	-37.5	-18.6	-31.4	-66.3	-63.9	-39.7
Sales to New Listings Ratio 1	120.0	100.0	88.9	128.6	70.0	87.5	50.0
Months of Inventory ²	2.9	9.3	5.4	5.7	14.9	13.9	11.6
Average Price	\$331,250	49.6	30.3	48.9	62.9	66.2	93.3
Median Price	\$339,250	67.5	19.2	54.9	38.5	102.5	93.9
Sales to List Price Ratio	96.6	95.6	96.8	97.2	93.9	94.7	87.7
Median Days on Market	54.0	26.5	91.0	59.0	206.0	215.0	32.0
			<u>'</u>	Compa	red to 6		
Year-to-date	October 2020	October 2019	October 2018	Compa October 2017	October 2015	October 2013	October 2010
Year-to-date Sales Activity				October	October		
	2020	2019	2018	October 2017	October 2015	2013	2010
Sales Activity	2020	40.3	2018	October 2017 -24.8	October 2015 17.5	2013 129.3	129.3
Sales Activity Dollar Volume	2020 94 \$26,665,018	2019 40.3 42.5	2018 20.5 33.9	October 2017 -24.8 -8.4	October 2015 17.5 61.4	2013 129.3 246.7	2010 129.3 223.2
Sales Activity Dollar Volume New Listings	2020 94 \$26,665,018 122	2019 40.3 42.5 -1.6	2018 20.5 33.9 7.0	October 2017 -24.8 -8.4 -23.8	October 2015 17.5 61.4 -32.6	2013 129.3 246.7 -9.6	2010 129.3 223.2 -9.0
Sales Activity Dollar Volume New Listings Active Listings 3	2020 94 \$26,665,018 122 49	2019 40.3 42.5 -1.6 -7.8	2018 20.5 33.9 7.0 17.9	October 2017 -24.8 -8.4 -23.8 -25.0	October 2015 17.5 61.4 -32.6 -52.3	2013 129.3 246.7 -9.6 -50.9	2010 129.3 223.2 -9.0 8.7
Sales Activity Dollar Volume New Listings Active Listings Sales to New Listings Ratio 4	2020 94 \$26,665,018 122 49 77.0	2019 40.3 42.5 -1.6 -7.8 54.0	2018 20.5 33.9 7.0 17.9 68.4	October 2017 -24.8 -8.4 -23.8 -25.0 78.1	October 2015 17.5 61.4 -32.6 -52.3 44.2	2013 129.3 246.7 -9.6 -50.9 30.4	2010 129.3 223.2 -9.0 8.7 30.6
Sales Activity Dollar Volume New Listings Active Listings Sales to New Listings Ratio Months of Inventory	2020 94 \$26,665,018 122 49 77.0 5.2	2019 40.3 42.5 -1.6 -7.8 54.0 7.9	2018 20.5 33.9 7.0 17.9 68.4 5.3	October 2017 -24.8 -8.4 -23.8 -25.0 78.1 5.2	October 2015 17.5 61.4 -32.6 -52.3 44.2 12.8	2013 129.3 246.7 -9.6 -50.9 30.4 24.2	2010 129.3 223.2 -9.0 8.7 30.6 10.9
Sales Activity Dollar Volume New Listings Active Listings Sales to New Listings Ratio Months of Inventory Average Price	2020 94 \$26,665,018 122 49 77.0 5.2 \$283,670	2019 40.3 42.5 -1.6 -7.8 54.0 7.9 1.6	2018 20.5 33.9 7.0 17.9 68.4 5.3	October 2017 -24.8 -8.4 -23.8 -25.0 78.1 5.2 21.8	October 2015 17.5 61.4 -32.6 -52.3 44.2 12.8 37.3	2013 129.3 246.7 -9.6 -50.9 30.4 24.2 51.2	2010 129.3 223.2 -9.0 8.7 30.6 10.9 41.0

Sales / new listings * 100; Compared to levels from previous periods.

Active listings at month end / monthly sales; Compared to levels from previous periods.

³ The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year.

 $^{^{\}rm 4}~$ Sum of sales from January to current month / sum of new listings from January to current month.

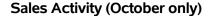
The year-to-date months of inventory figure is calculated as: average active listings from January to current month / average sales from January to current month.

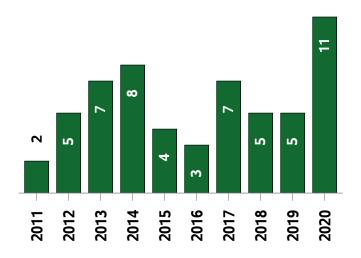
⁶ Sales to new listings ratio, months of inventory and median days on market shown as levels; all others calculated as percentage changes.

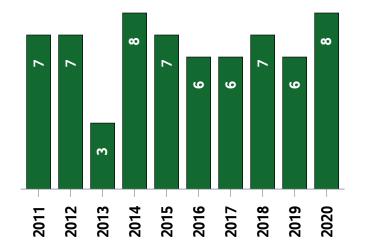


Grand ForksMLS® Single Family Market Activity



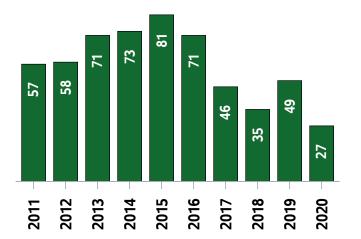




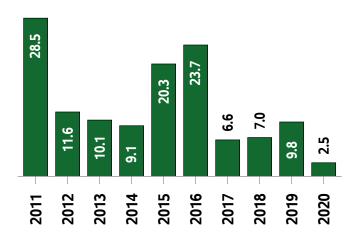


New Listings (October only)

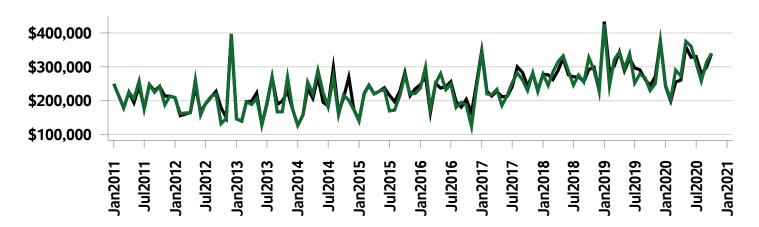
Active Listings (October only)



Months of Inventory (October only)



Average Price and Median Price

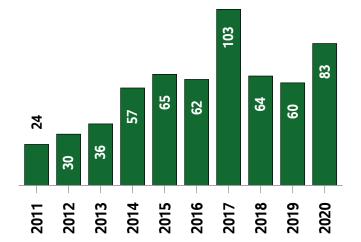




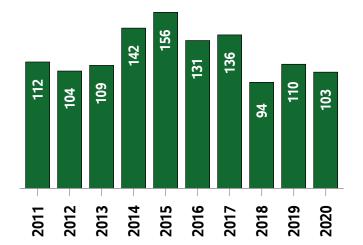
Grand ForksMLS® Single Family Market Activity



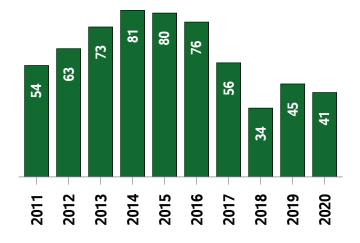




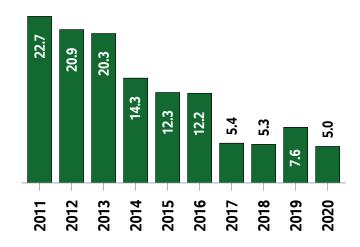
New Listings (October Year-to-date)



Active Listings ¹ (October Year-to-date)



Months of Inventory ² (October Year-to-date)



¹ The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year

² Average active listings January to the current month/average of sales January to the current month



Grand ForksMLS® Single Family Market Activity



		Compared to ⁶						
Actual	October 2020	October 2019	October 2018	October 2017	October 2015	October 2013	October 2010	
Sales Activity	11	120.0	120.0	57.1	175.0	57.1	120.0	
Dollar Volume	\$3,730,000	204.8	155.4	119.7	229.9	167.3	335.2	
New Listings	8	33.3	14.3	33.3	14.3	166.7	60.0	
Active Listings	27	-44.9	-22.9	-41.3	-66.7	-62.0	-32.5	
Sales to New Listings Ratio 1	137.5	83.3	71.4	116.7	57.1	233.3	100.0	
Months of Inventory ²	2.5	9.8	7.0	6.6	20.3	10.1	8.0	
Average Price	\$339,091	38.5	16.1	39.8	20.0	70.1	97.8	
Median Price	\$340,000	47.8	3.8	47.8	23.7	103.0	94.3	
Sales to List Price Ratio	96.6	93.5	95.0	96.8	96.0	94.7	87.7	
Median Days on Market	55.0	28.0	99.0	46.0	193.0	215.0	32.0	
				Compa	red to ⁶			
				Compa	ii cu to			
Year-to-date	October 2020	October 2019	October 2018	October 2017	October 2015	October 2013	October 2010	
Year-to-date Sales Activity				October	October	l		
	2020	2019	2018	October 2017	October 2015	2013	2010	
Sales Activity	2020 83	38.3	29.7	October 2017 -19.4	October 2015 27.7	130.6	130.6	
Sales Activity Dollar Volume	2020 83 \$24,910,018	38.3 39.8	2018 29.7 40.3	October 2017 -19.4 -2.4	October 2015 27.7 73.5	2013 130.6 259.3	2010 130.6 226.9	
Sales Activity Dollar Volume New Listings	2020 83 \$24,910,018 103	38.3 39.8 -6.4	2018 29.7 40.3 9.6	October 2017 -19.4 -2.4 -24.3	October 2015 27.7 73.5 -34.0	2013 130.6 259.3 -5.5	2010 130.6 226.9 -4.6	
Sales Activity Dollar Volume New Listings Active Listings ³	2020 83 \$24,910,018 103 41	2019 38.3 39.8 -6.4 -9.3	29.7 40.3 9.6 22.6	October 2017 -19.4 -2.4 -24.3 -26.0	October 2015 27.7 73.5 -34.0 -48.5	2013 130.6 259.3 -5.5 -43.7	2010 130.6 226.9 -4.6 15.4	
Sales Activity Dollar Volume New Listings Active Listings Sales to New Listings Ratio 4	2020 83 \$24,910,018 103 41 80.6	2019 38.3 39.8 -6.4 -9.3 54.5	2018 29.7 40.3 9.6 22.6 68.1	October 2017 -19.4 -2.4 -24.3 -26.0 75.7	October 2015 27.7 73.5 -34.0 -48.5 41.7	2013 130.6 259.3 -5.5 -43.7 33.0	2010 130.6 226.9 -4.6 15.4 33.3	
Sales Activity Dollar Volume New Listings Active Listings Sales to New Listings Ratio Months of Inventory	2020 83 \$24,910,018 103 41 80.6 5.0	2019 38.3 39.8 -6.4 -9.3 54.5 7.6	2018 29.7 40.3 9.6 22.6 68.1 5.3	October 2017 -19.4 -2.4 -24.3 -26.0 75.7 5.4	October 2015 27.7 73.5 -34.0 -48.5 41.7 12.3	2013 130.6 259.3 -5.5 -43.7 33.0 20.3	2010 130.6 226.9 -4.6 15.4 33.3 9.9	
Sales Activity Dollar Volume New Listings Active Listings Sales to New Listings Ratio Months of Inventory Average Price	2020 83 \$24,910,018 103 41 80.6 5.0 \$300,121	2019 38.3 39.8 -6.4 -9.3 54.5 7.6 1.1	2018 29.7 40.3 9.6 22.6 68.1 5.3 8.2	October 2017 -19.4 -2.4 -24.3 -26.0 75.7 5.4 21.2	October 2015 27.7 73.5 -34.0 -48.5 41.7 12.3 35.8	2013 130.6 259.3 -5.5 -43.7 33.0 20.3 55.8	2010 130.6 226.9 -4.6 15.4 33.3 9.9 41.8	

Sales / new listings * 100; Compared to levels from previous periods.

Active listings at month end / monthly sales; Compared to levels from previous periods.

The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year.

 $^{^{\}rm 4}$ $\,$ Sum of sales from January to current month / sum of new listings from January to current month.

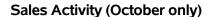
The year-to-date months of inventory figure is calculated as: average active listings from January to current month / average sales from January to current month.

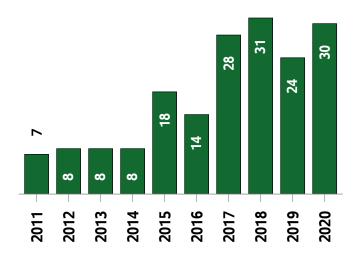
⁶ Sales to new listings ratio, months of inventory and median days on market shown as levels; all others calculated as percentage changes.



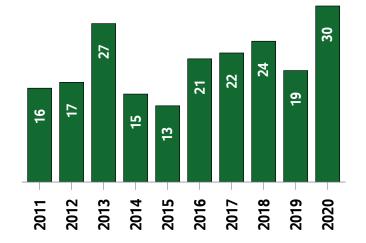
Kimberley MLS® Residential Market Activity



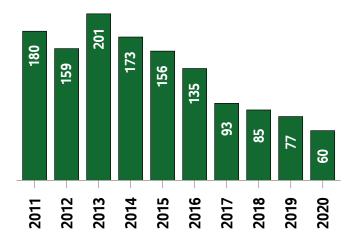




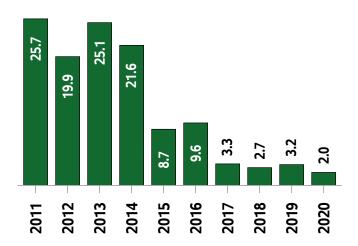
New Listings (October only)



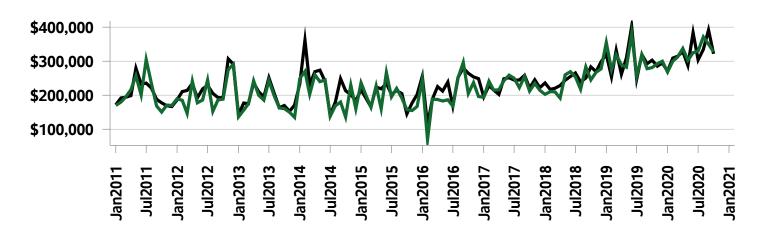
Active Listings (October only)



Months of Inventory (October only)



Average Price and Median Price

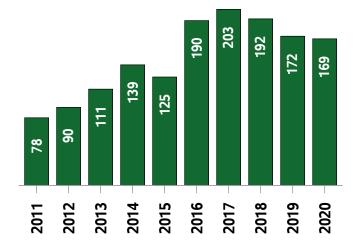




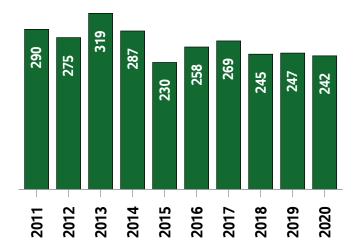
Kimberley MLS® Residential Market Activity



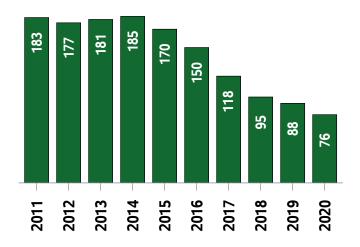
Sales Activity (October Year-to-date)



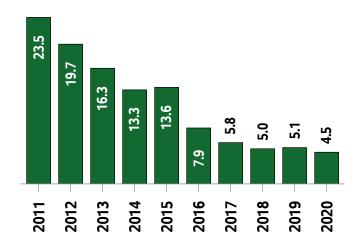
New Listings (October Year-to-date)



Active Listings 1 (October Year-to-date)



Months of Inventory ² (October Year-to-date)



¹ The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year

² Average active listings January to the current month/average of sales January to the current month



Kimberley MLS® Residential Market Activity



		Compared to 6					
Actual	October 2020	October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Sales Activity	30	25.0	-3.2	7.1	66.7	275.0	900.0
Dollar Volume	\$9,653,440	32.8	9.9	55.7	270.2	611.0	1,756.4
New Listings	30	57.9	25.0	36.4	130.8	11.1	66.7
Active Listings	60	-22.1	-29.4	-35.5	-61.5	-70.1	-60.5
Sales to New Listings Ratio 1	100.0	126.3	129.2	127.3	138.5	29.6	16.7
Months of Inventory ²	2.0	3.2	2.7	3.3	8.7	25.1	50.7
Average Price	\$321,781	6.2	13.5	45.3	122.1	89.6	85.6
Median Price	\$327,450	16.4	33.7	54.5	107.9	103.8	67.9
Sales to List Price Ratio	96.2	92.6	94.6	94.7	97.9	92.6	90.4
Median Days on Market	66.0	94.0	51.0	69.0	108.5	151.0	92.0
					-		
				Compa	red to ⁶		
Year-to-date	October 2020	October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Year-to-date Sales Activity				October	October		
	2020	2019	2018	October 2017	October 2015	2013	2010
Sales Activity	2020	-1.7	-12.0	October 2017 -16.7	October 2015 35.2	2013 52.3	2010 344.7
Sales Activity Dollar Volume	2020 169 \$55,511,332	-1.7 6.3	-12.0 16.7	October 2017 -16.7 16.7	October 2015 35.2 122.1	2013 52.3 146.7	2010 344.7 592.9
Sales Activity Dollar Volume New Listings	2020 169 \$55,511,332 242	-1.7 6.3 -2.0	-12.0 16.7 -1.2	October 2017 -16.7 -16.7 -10.0	October 2015 35.2 122.1 5.2	2013 52.3 146.7 -24.1	2010 344.7 592.9 -26.9
Sales Activity Dollar Volume New Listings Active Listings ³	2020 169 \$55,511,332 242 76	-1.7 6.3 -2.0 -14.3	-12.0 16.7 -1.2 -20.6	October 2017 -16.7 -16.7 -10.0 -36.1	October 2015 35.2 122.1 5.2 -55.6	2013 52.3 146.7 -24.1 -58.3	2010 344.7 592.9 -26.9 -44.8
Sales Activity Dollar Volume New Listings Active Listings Sales to New Listings Ratio 4	2020 169 \$55,511,332 242 76 69.8	2019 -1.7 6.3 -2.0 -14.3 69.6	-12.0 16.7 -1.2 -20.6 78.4	October 2017 -16.7 -16.7 -10.0 -36.1 -75.5	October 2015 35.2 122.1 5.2 -55.6 54.3	2013 52.3 146.7 -24.1 -58.3 34.8	2010 344.7 592.9 -26.9 -44.8 11.5
Sales Activity Dollar Volume New Listings Active Listings Sales to New Listings Ratio Months of Inventory	2020 169 \$55,511,332 242 76 69.8 4.5	2019 -1.7 6.3 -2.0 -14.3 69.6 5.1	-12.0 16.7 -1.2 -20.6 78.4 5.0	October 2017 -16.7 16.7 -10.0 -36.1 75.5 5.8	October 2015 35.2 122.1 5.2 -55.6 54.3 13.6	2013 52.3 146.7 -24.1 -58.3 34.8 16.3	2010 344.7 592.9 -26.9 -44.8 11.5 36.1
Sales Activity Dollar Volume New Listings Active Listings Sales to New Listings Ratio Months of Inventory Average Price	2020 169 \$55,511,332 242 76 69.8 4.5 \$328,469	2019 -1.7 6.3 -2.0 -14.3 69.6 5.1 8.2	-12.0 16.7 -1.2 -20.6 78.4 5.0 32.6	October 2017 -16.7 -16.7 -10.0 -36.1 -75.5 -5.8 40.1	October 2015 35.2 122.1 5.2 -55.6 54.3 13.6 64.3	2013 52.3 146.7 -24.1 -58.3 34.8 16.3 62.0	2010 344.7 592.9 -26.9 -44.8 11.5 36.1 55.8

Sales / new listings * 100; Compared to levels from previous periods.

Active listings at month end / monthly sales; Compared to levels from previous periods.

³ The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year.

⁴ Sum of sales from January to current month / sum of new listings from January to current month.

The year-to-date months of inventory figure is calculated as: average active listings from January to current month / average sales from January to current month.

⁶ Sales to new listings ratio, months of inventory and median days on market shown as levels; all others calculated as percentage changes.



103

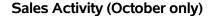
8

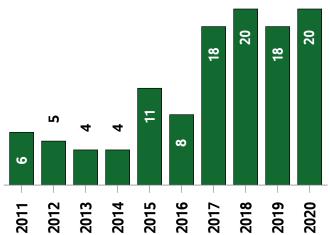
2013

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Kimberley MLS® Single Family Market Activity





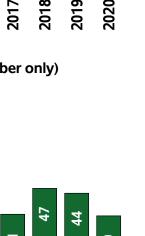


Active Listings (October only)

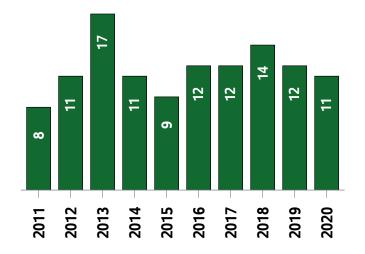
2016

2017

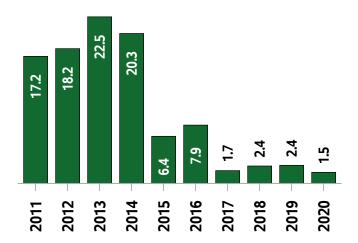
2015



New Listings (October only)

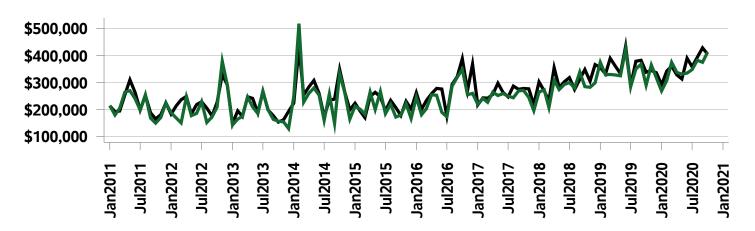


Months of Inventory (October only)



Average Price and Median Price

2020

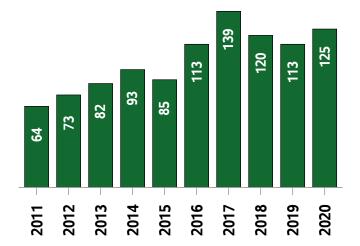




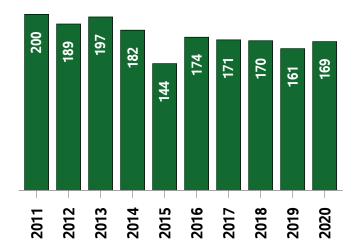
Kimberley MLS® Single Family Market Activity



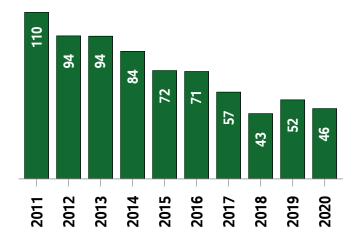
Sales Activity (October Year-to-date)



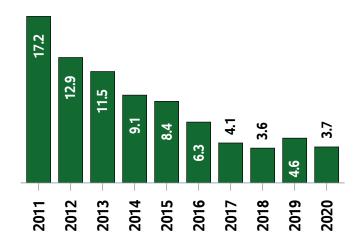
New Listings (October Year-to-date)



Active Listings 1 (October Year-to-date)



Months of Inventory ² (October Year-to-date)



¹ The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year

² Average active listings January to the current month/average of sales January to the current month



Kimberley MLS® Single Family Market Activity



			Compared to ⁶					
Actual	October 2020	October 2019	October 2018	October 2017	October 2015	October 2013	October 2010	
Sales Activity	20	11.1	0.0	11.1	81.8	400.0	566.7	
Dollar Volume	\$8,101,755	33.0	16.3	61.8	313.1	1,216.7	1,458.0	
New Listings	11	-8.3	-21.4	-8.3	22.2	-35.3	-8.3	
Active Listings	30	-31.8	-36.2	-3.2	-57.1	-66.7	-71.2	
Sales to New Listings Ratio 1	181.8	150.0	142.9	150.0	122.2	23.5	25.0	
Months of Inventory ²	1.5	2.4	2.4	1.7	6.4	22.5	34.7	
Average Price	\$405,088	19.7	16.3	45.6	127.2	163.3	133.7	
Median Price	\$412,000	42.1	44.6	52.0	128.9	162.2	111.3	
Sales to List Price Ratio	96.9	92.7	95.6	95.5	95.0	92.6	90.4	
Median Days on Market	65.5	94.0	45.0	35.5	83.0	87.5	92.0	
				Compa	red to °			
Year-to-date	October 2020	October 2019	October 2018	Compa October 2017	October 2015	October 2013	October 2010	
Year-to-date Sales Activity				October	October			
	2020	2019	2018	October 2017	October 2015	2013	2010	
Sales Activity	2020	10.6	4.2	October 2017 -10.1	October 2015 47.1	2013 52.4	2010 278.8	
Sales Activity Dollar Volume	2020 125 \$46,979,490	10.6 16.4	2018 4.2 27.8	October 2017 -10.1 26.8	October 2015 47.1 157.5	2013 52.4 169.4	2010 278.8 537.7	
Sales Activity Dollar Volume New Listings	2020 125 \$46,979,490 169	2019 10.6 16.4 5.0	2018 4.2 27.8 -0.6	October 2017 -10.1 26.8 -1.2	October 2015 47.1 157.5 17.4	2013 52.4 169.4 -14.2	2010 278.8 537.7 -26.8	
Sales Activity Dollar Volume New Listings Active Listings	2020 125 \$46,979,490 169 46	2019 10.6 16.4 5.0 -11.1	2018 4.2 27.8 -0.6 7.7	October 2017 -10.1 26.8 -1.2 -19.0	October 2015 47.1 157.5 17.4 -35.1	2013 52.4 169.4 -14.2 -50.7	2010 278.8 537.7 -26.8 -50.3	
Sales Activity Dollar Volume New Listings Active Listings Sales to New Listings Ratio 4	2020 125 \$46,979,490 169 46 74.0	2019 10.6 16.4 5.0 -11.1	2018 4.2 27.8 -0.6 7.7 70.6	October 2017 -10.1 26.8 -1.2 -19.0 81.3	October 2015 47.1 157.5 17.4 -35.1 59.0	2013 52.4 169.4 -14.2 -50.7 41.6	278.8 537.7 -26.8 -50.3	
Sales Activity Dollar Volume New Listings Active Listings Sales to New Listings Ratio Months of Inventory	2020 125 \$46,979,490 169 46 74.0 3.7	2019 10.6 16.4 5.0 -11.1 70.2 4.6	2018 4.2 27.8 -0.6 7.7 70.6 3.6	October 2017 -10.1 26.8 -1.2 -19.0 81.3 4.1	October 2015 47.1 157.5 17.4 -35.1 59.0 8.4	2013 52.4 169.4 -14.2 -50.7 41.6 11.5	2010 278.8 537.7 -26.8 -50.3 14.3 28.3	
Sales Activity Dollar Volume New Listings Active Listings Sales to New Listings Ratio Months of Inventory Average Price	2020 125 \$46,979,490 169 46 74.0 3.7 \$375,836	2019 10.6 16.4 5.0 -11.1 70.2 4.6 5.2	2018 4.2 27.8 -0.6 7.7 70.6 3.6 22.7	October 2017 -10.1 26.8 -1.2 -19.0 81.3 4.1 41.0	October 2015 47.1 157.5 17.4 -35.1 59.0 8.4 75.1	2013 52.4 169.4 -14.2 -50.7 41.6 11.5 76.7	2010 278.8 537.7 -26.8 -50.3 14.3 28.3 68.4	

Sales / new listings * 100; Compared to levels from previous periods.

Active listings at month end / monthly sales; Compared to levels from previous periods.

³ The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year.

 $^{^{\}rm 4}$ $\,$ Sum of sales from January to current month / sum of new listings from January to current month.

⁵ The year-to-date months of inventory figure is calculated as: average active listings from January to current month / average sales from January to current month.

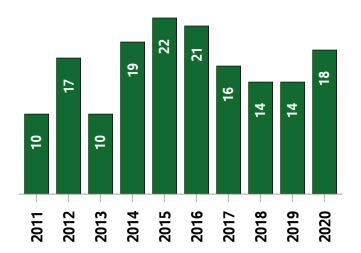
⁶ Sales to new listings ratio, months of inventory and median days on market shown as levels; all others calculated as percentage changes.



Nelson MLS® Residential Market Activity

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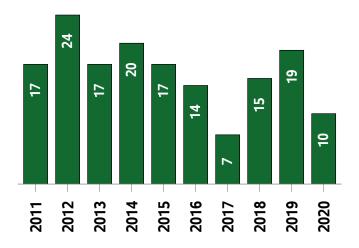
Sales Activity (October only)



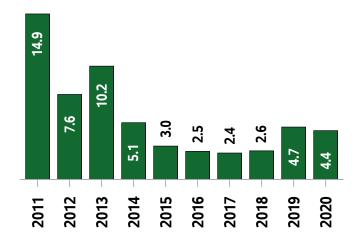
Active Listings (October only)



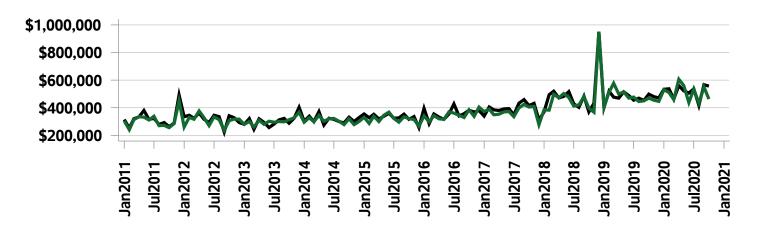
New Listings (October only)



Months of Inventory (October only)



Average Price and Median Price

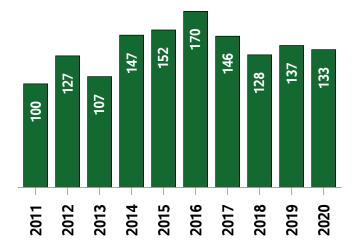




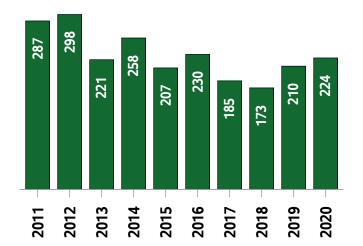
Nelson MLS® Residential Market Activity



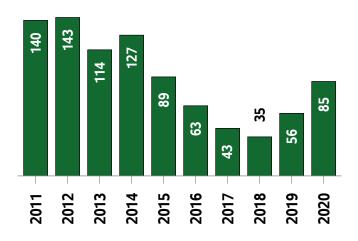
Sales Activity (October Year-to-date)



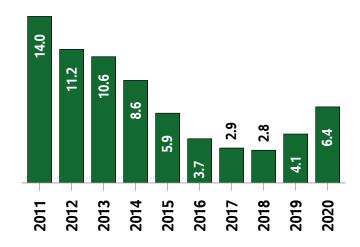
New Listings (October Year-to-date)



Active Listings 1 (October Year-to-date)



Months of Inventory ² (October Year-to-date)



¹ The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year

² Average active listings January to the current month/average of sales January to the current month



Nelson MLS® Residential Market Activity

			Compared to ⁶					
Actual	October 2020	October 2019	October 2018	October 2017	October 2015	October 2013	October 2010	
Sales Activity	18	28.6	28.6	12.5	-18.2	80.0	63.6	
Dollar Volume	\$10,017,000	43.5	93.5	50.5	44.2	248.2	161.7	
New Listings	10	-47.4	-33.3	42.9	-41.2	-41.2	-83.3	
Active Listings	79	19.7	119.4	107.9	19.7	-22.5	-34.7	
Sales to New Listings Ratio 1	180.0	73.7	93.3	228.6	129.4	58.8	18.3	
Months of Inventory ²	4.4	4.7	2.6	2.4	3.0	10.2	11.0	
Average Price	\$556,500	11.6	50.5	33.8	76.3	93.4	59.9	
Median Price	\$462,500	-1.6	16.5	14.2	44.5	48.0	40.2	
Sales to List Price Ratio	101.1	97.9	94.8	98.3	97.2	94.3	96.0	
Median Days on Market	38.0	66.0	54.5	62.0	59.5	83.0	104.0	
-				Compa	red to °			
Year-to-date	October 2020	October 2019	October 2018	Compa October 2017	October 2015	October 2013	October 2010	
				October	October			
Year-to-date	2020	2019	2018	October 2017	October 2015	2013	2010	
Year-to-date Sales Activity	2020	2019 -2.9	3.9	October 2017 -8.9	October 2015 -12.5	24.3	2010 35.7	
Year-to-date Sales Activity Dollar Volume	2020 133 \$68,837,678	-2.9 5.8	3.9 18.6	October 2017 -8.9 18.2	October 2015 -12.5 35.2	2013 24.3 114.1	35.7 109.9	
Year-to-date Sales Activity Dollar Volume New Listings	2020 133 \$68,837,678 224	2019 -2.9 5.8 6.7	3.9 18.6 29.5	October 2017 -8.9 18.2 21.1	October 2015 -12.5 35.2 8.2	2013 24.3 114.1 1.4	2010 35.7 109.9 -23.0	
Year-to-date Sales Activity Dollar Volume New Listings Active Listings	2020 133 \$68,837,678 224 85	2019 -2.9 5.8 6.7 50.9	3.9 18.6 29.5 141.8	October 2017 -8.9 18.2 21.1 98.4	October 2015 -12.5 35.2 8.2 -4.6	24.3 114.1 1.4 -25.1	2010 35.7 109.9 -23.0 8.8	
Year-to-date Sales Activity Dollar Volume New Listings Active Listings Sales to New Listings Ratio 4	2020 133 \$68,837,678 224 85 59.4	2019 -2.9 5.8 6.7 50.9 65.2	2018 3.9 18.6 29.5 141.8 74.0	October 2017 -8.9 18.2 21.1 98.4 78.9	October 2015 -12.5 35.2 8.2 -4.6 73.4	2013 24.3 114.1 1.4 -25.1 48.4	2010 35.7 109.9 -23.0 8.8 33.7	
Year-to-date Sales Activity Dollar Volume New Listings Active Listings Sales to New Listings Ratio 4 Months of Inventory 5	2020 133 \$68,837,678 224 85 59.4 6.4	2019 -2.9 5.8 6.7 50.9 65.2 4.1	2018 3.9 18.6 29.5 141.8 74.0 2.8	October 2017 -8.9 18.2 21.1 98.4 78.9 2.9	October 2015 -12.5 35.2 8.2 -4.6 73.4 5.9	2013 24.3 114.1 1.4 -25.1 48.4 10.6	2010 35.7 109.9 -23.0 8.8 33.7 8.0	
Year-to-date Sales Activity Dollar Volume New Listings Active Listings Sales to New Listings Ratio Months of Inventory Average Price	2020 133 \$68,837,678 224 85 59.4 6.4 \$517,577	2019 -2.9 5.8 6.7 50.9 65.2 4.1 9.0	2018 3.9 18.6 29.5 141.8 74.0 2.8 14.1	October 2017 -8.9 18.2 21.1 98.4 78.9 2.9 29.7	October 2015 -12.5 35.2 8.2 -4.6 73.4 5.9 54.5	2013 24.3 114.1 1.4 -25.1 48.4 10.6 72.2	2010 35.7 109.9 -23.0 8.8 33.7 8.0 54.7	

Sales / new listings * 100; Compared to levels from previous periods.

 $^{^{\}rm 2}$ $\,$ Active listings at month end / monthly sales; Compared to levels from previous periods.

³ The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year.

 $^{^{\}rm 4}~$ Sum of sales from January to current month / sum of new listings from January to current month.

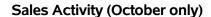
The year-to-date months of inventory figure is calculated as: average active listings from January to current month / average sales from January to current month.

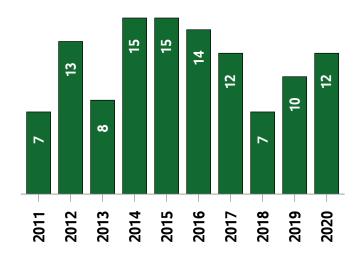
⁶ Sales to new listings ratio, months of inventory and median days on market shown as levels; all others calculated as percentage changes.



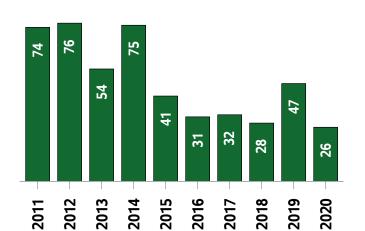
Nelson MLS® Single Family Market Activity

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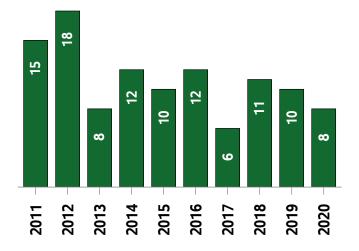




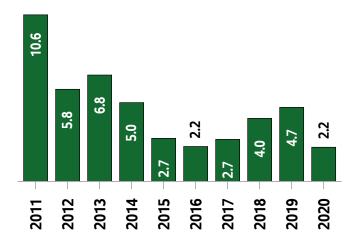
Active Listings (October only)



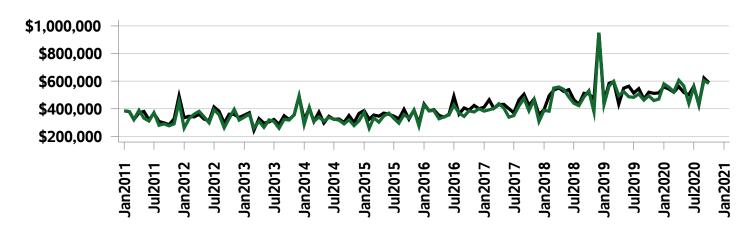
New Listings (October only)



Months of Inventory (October only)



Average Price and Median Price

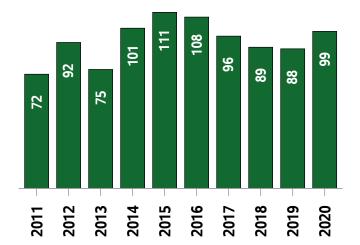




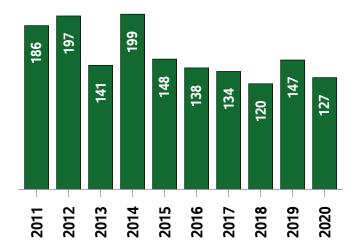
Nelson MLS® Single Family Market Activity



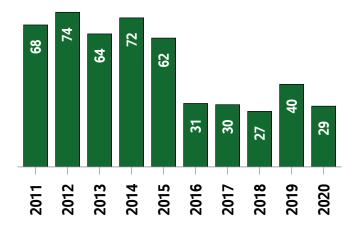
Sales Activity (October Year-to-date)



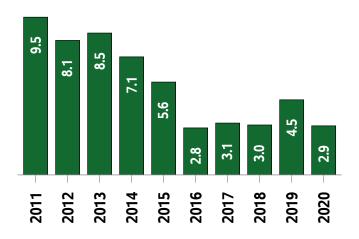
New Listings (October Year-to-date)



Active Listings 1 (October Year-to-date)



Months of Inventory ² (October Year-to-date)



¹ The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year

² Average active listings January to the current month/average of sales January to the current month



Nelson MLS® Single Family Market Activity



		Compared to ⁶						
Actual	October 2020	October 2019	October 2018	October 2017	October 2015	October 2013	October 2010	
Sales Activity	12	20.0	71.4	0.0	-20.0	50.0	20.0	
Dollar Volume	\$7,061,500	35.9	98.6	38.8	45.1	174.9	105.0	
New Listings	8	-20.0	-27.3	33.3	-20.0	0.0	-11.1	
Active Listings	26	-44.7	-7.1	-18.8	-36.6	-51.9	-49.0	
Sales to New Listings Ratio 1	150.0	100.0	63.6	200.0	150.0	100.0	111.1	
Months of Inventory 2	2.2	4.7	4.0	2.7	2.7	6.8	5.1	
Average Price	\$588,458	13.2	15.9	38.8	81.3	83.3	70.9	
Median Price	\$582,500	18.0	9.9	51.3	75.5	83.5	80.6	
Sales to List Price Ratio	102.0	97.7	96.2	98.1	97.2	95.0	96.0	
Median Days on Market	28.0	66.0	53.0	54.0	63.0	70.5	102.0	
		Compared to 6						
				Compa	ii eu to			
Year-to-date	October 2020	October 2019	October 2018	October 2017	October 2015	October 2013	October 2010	
Year-to-date Sales Activity				October	October	ı		
	2020	2019	2018	October 2017	October 2015	2013	2010	
Sales Activity	2020 99	2019 12.5	11.2	October 2017 3.1	October 2015 -10.8	32.0	28.6	
Sales Activity Dollar Volume	2020 99 \$53,545,878	2019 12.5 16.1	2018 11.2 20.3	October 2017 3.1 28.8	October 2015 -10.8	2013 32.0 125.0	2010 28.6 95.2	
Sales Activity Dollar Volume New Listings	2020 99 \$53,545,878 127	2019 12.5 16.1 -13.6	2018 11.2 20.3 5.8	October 2017 3.1 28.8 -5.2	October 2015 -10.8 37.7 -14.2	2013 32.0 125.0 -9.9	2010 28.6 95.2 -29.4	
Sales Activity Dollar Volume New Listings Active Listings ³	2020 99 \$53,545,878 127 29	2019 12.5 16.1 -13.6 -26.4	2018 11.2 20.3 5.8 9.4	October 2017 3.1 28.8 -5.2 -2.3	October 2015 -10.8 37.7 -14.2 -52.8	2013 32.0 125.0 -9.9 -54.3	2010 28.6 95.2 -29.4 -42.7	
Sales Activity Dollar Volume New Listings Active Listings Sales to New Listings Ratio 4	2020 99 \$53,545,878 127 29 78.0	2019 12.5 16.1 -13.6 -26.4 59.9	2018 11.2 20.3 5.8 9.4 74.2	October 2017 3.1 28.8 -5.2 -2.3 71.6	October 2015 -10.8 37.7 -14.2 -52.8 75.0	2013 32.0 125.0 -9.9 -54.3 53.2	2010 28.6 95.2 -29.4 -42.7 42.8	
Sales Activity Dollar Volume New Listings Active Listings Sales to New Listings Ratio Months of Inventory	2020 99 \$53,545,878 127 29 78.0 2.9	2019 12.5 16.1 -13.6 -26.4 59.9 4.5	2018 11.2 20.3 5.8 9.4 74.2 3.0	October 2017 3.1 28.8 -5.2 -2.3 71.6 3.1	October 2015 -10.8 37.7 -14.2 -52.8 75.0 5.6	2013 32.0 125.0 -9.9 -54.3 53.2 8.5	2010 28.6 95.2 -29.4 -42.7 42.8 6.6	
Sales Activity Dollar Volume New Listings Active Listings Sales to New Listings Ratio Months of Inventory Average Price	2020 99 \$53,545,878 127 29 78.0 2.9 \$540,867	2019 12.5 16.1 -13.6 -26.4 59.9 4.5 3.2	2018 11.2 20.3 5.8 9.4 74.2 3.0 8.1	October 2017 3.1 28.8 -5.2 -2.3 71.6 3.1 24.9	October 2015 -10.8 37.7 -14.2 -52.8 75.0 5.6 54.4	2013 32.0 125.0 -9.9 -54.3 53.2 8.5 70.4	2010 28.6 95.2 -29.4 -42.7 42.8 6.6 51.9	

Sales / new listings * 100; Compared to levels from previous periods.

Active listings at month end / monthly sales; Compared to levels from previous periods.

³ The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year.

 $^{^{\}rm 4}$ $\,$ Sum of sales from January to current month / sum of new listings from January to current month.

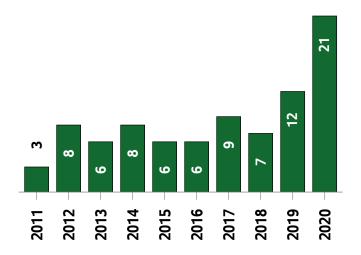
The year-to-date months of inventory figure is calculated as: average active listings from January to current month / average sales from January to current month.

⁶ Sales to new listings ratio, months of inventory and median days on market shown as levels; all others calculated as percentage changes.

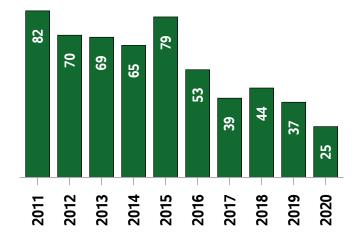


Rossland MLS® Residential Market Activity

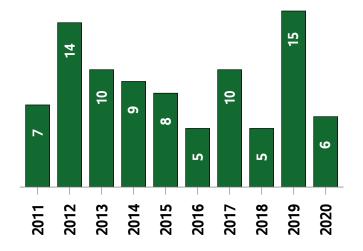
Sales Activity (October only)



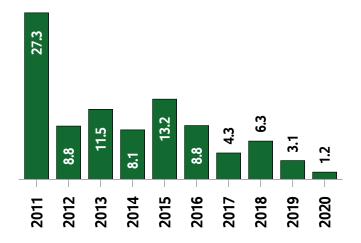
Active Listings (October only)



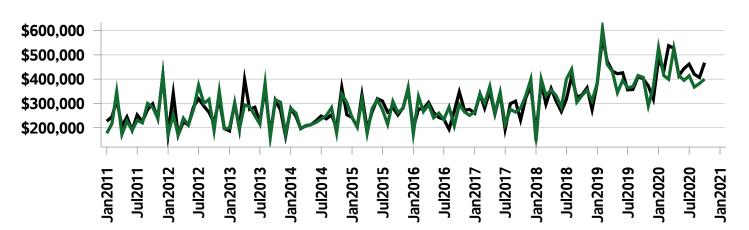
New Listings (October only)



Months of Inventory (October only)



Average Price and Median Price

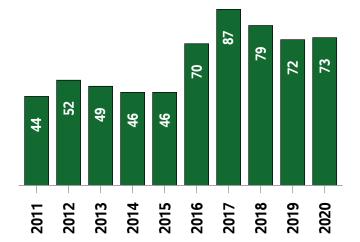




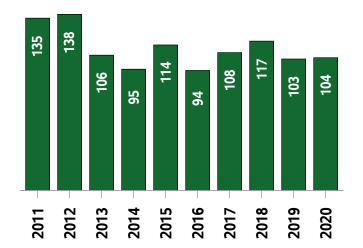
Rossland MLS® Residential Market Activity



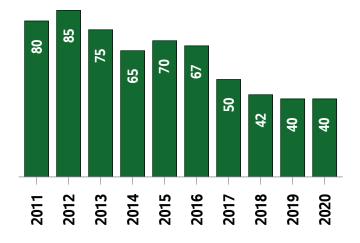
Sales Activity (October Year-to-date)



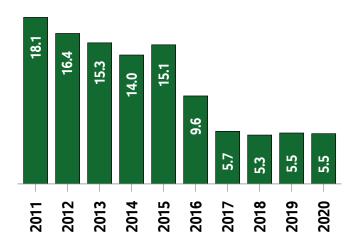
New Listings (October Year-to-date)



Active Listings 1 (October Year-to-date)



Months of Inventory ² (October Year-to-date)



¹ The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year

² Average active listings January to the current month/average of sales January to the current month



Rossland MLS® Residential Market Activity



				Compa	red to ⁶		
Actual	October 2020	October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Sales Activity	21	75.0	200.0	133.3	250.0	250.0	425.0
Dollar Volume	\$9,823,733	103.9	319.3	371.1	548.0	423.0	1,038.0
New Listings	6	-60.0	20.0	-40.0	-25.0	-40.0	-33.3
Active Listings	25	-32.4	-43.2	-35.9	-68.4	-63.8	-59.0
Sales to New Listings Ratio 1	350.0	80.0	140.0	90.0	75.0	60.0	44.4
Months of Inventory ²	1.2	3.1	6.3	4.3	13.2	11.5	15.3
Average Price	\$467,797	16.5	39.8	101.9	85.1	49.4	116.8
Median Price	\$400,000	-1.8	20.5	42.9	52.4	26.9	80.5
Sales to List Price Ratio	99.0	99.8	93.2	96.0	96.2	95.9	95.4
Median Days on Market	64.0	33.5	56.0	61.0	124.5	125.0	128.5
		Compared to 6					
				Compa	red to 6	I	
Year-to-date	October 2020	October 2019	October 2018	Compa October 2017	October 2015	October 2013	October 2010
Year-to-date Sales Activity				October	October	I	I
	2020	2019	2018	October 2017	October 2015	2013	2010
Sales Activity	2020 73	2019 1.4	-7.6	October 2017 -16.1	October 2015 58.7	2013 49.0	2010 65.9
Sales Activity Dollar Volume	2020 73 \$32,969,883	2019 1.4 7.5	-7.6 28.0	October 2017 -16.1 30.8	October 2015 58.7 164.9	2013 49.0 135.0	2010 65.9 232.6
Sales Activity Dollar Volume New Listings	2020 73 \$32,969,883 104	2019 1.4 7.5 1.0	-7.6 28.0 -11.1	October 2017 -16.1 30.8 -3.7	October 2015 58.7 164.9 -8.8	2013 49.0 135.0 -1.9	2010 65.9 232.6 -23.5
Sales Activity Dollar Volume New Listings Active Listings	2020 73 \$32,969,883 104 40	2019 1.4 7.5 1.0 0.0	2018 -7.6 28.0 -11.1 -5.0	October 2017 -16.1 30.8 -3.7 -19.9	October 2015 58.7 164.9 -8.8 -42.7	2013 49.0 135.0 -1.9 -46.9	2010 65.9 232.6 -23.5 -15.5
Sales Activity Dollar Volume New Listings Active Listings Sales to New Listings Ratio 4	2020 73 \$32,969,883 104 40 70.2	2019 1.4 7.5 1.0 0.0 69.9	2018 -7.6 28.0 -11.1 -5.0 67.5	October 2017 -16.1 30.8 -3.7 -19.9 80.6	October 2015 58.7 164.9 -8.8 -42.7 40.4	2013 49.0 135.0 -1.9 -46.9 46.2	2010 65.9 232.6 -23.5 -15.5
Sales Activity Dollar Volume New Listings Active Listings Sales to New Listings Ratio Months of Inventory	2020 73 \$32,969,883 104 40 70.2 5.5	2019 1.4 7.5 1.0 0.0 69.9 5.5	2018 -7.6 28.0 -11.1 -5.0 67.5 5.3	October 2017 -16.1 30.8 -3.7 -19.9 80.6 5.7	October 2015 58.7 164.9 -8.8 -42.7 40.4 15.1	2013 49.0 135.0 -1.9 -46.9 46.2 15.3	2010 65.9 232.6 -23.5 -15.5 32.4 10.7
Sales Activity Dollar Volume New Listings Active Listings Sales to New Listings Ratio Months of Inventory Average Price	2020 73 \$32,969,883 104 40 70.2 5.5 \$451,642	2019 1.4 7.5 1.0 0.0 69.9 5.5 6.0	2018 -7.6 28.0 -11.1 -5.0 67.5 5.3 38.5	October 2017 -16.1 30.8 -3.7 -19.9 80.6 5.7 55.9	October 2015 58.7 164.9 -8.8 -42.7 40.4 15.1 66.9	2013 49.0 135.0 -1.9 -46.9 46.2 15.3 57.8	2010 65.9 232.6 -23.5 -15.5 32.4 10.7

¹ Sales / new listings * 100; Compared to levels from previous periods.

 $^{^{\}rm 2}$ $\,$ Active listings at month end / monthly sales; Compared to levels from previous periods.

³ The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year.

 $^{^{\}rm 4}~$ Sum of sales from January to current month / sum of new listings from January to current month.

The year-to-date months of inventory figure is calculated as: average active listings from January to current month / average sales from January to current month.

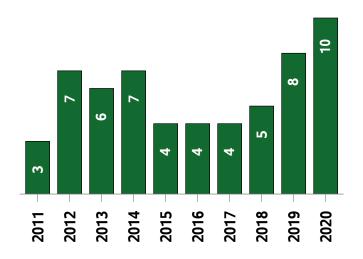
⁶ Sales to new listings ratio, months of inventory and median days on market shown as levels; all others calculated as percentage changes.



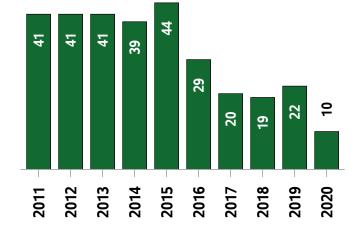
Rossland MLS® Single Family Market Activity



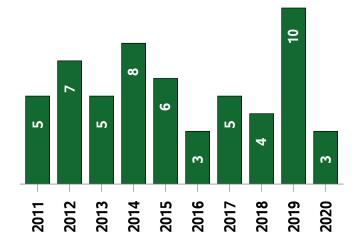
Sales Activity (October only)



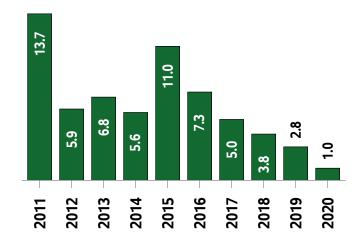
Active Listings (October only)



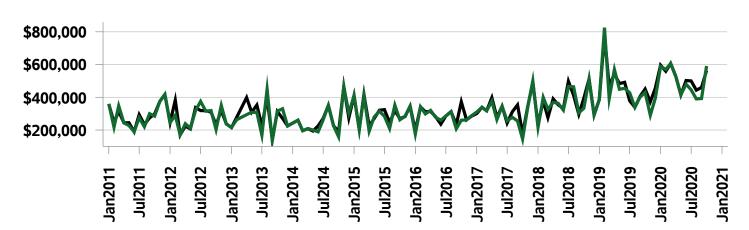
New Listings (October only)



Months of Inventory (October only)



Average Price and Median Price

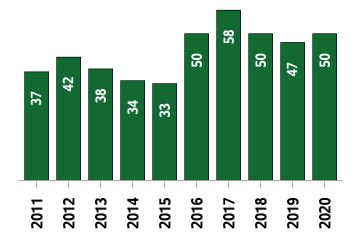




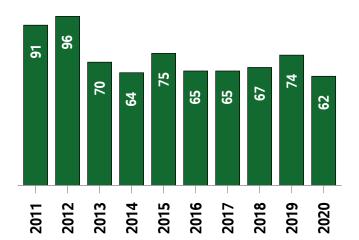
Rossland MLS® Single Family Market Activity



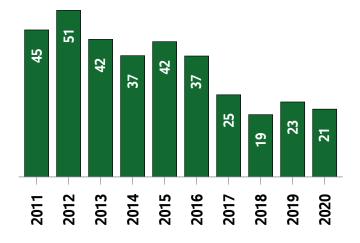




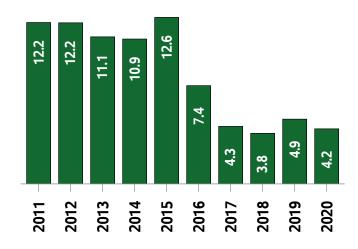
New Listings (October Year-to-date)



Active Listings 1 (October Year-to-date)



Months of Inventory ² (October Year-to-date)



¹ The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year

² Average active listings January to the current month/average of sales January to the current month



Rossland MLS® Single Family Market Activity



			Compared to ⁶					
Actual	October 2020	October 2019	October 2018	October 2017	October 2015	October 2013	October 2010	
Sales Activity	10	25.0	100.0	150.0	150.0	66.7	150.0	
Dollar Volume	\$5,638,233	56.5	185.7	700.9	423.0	200.1	553.1	
New Listings	3	-70.0	-25.0	-40.0	-50.0	-40.0	-50.0	
Active Listings	10	-54.5	-47.4	-50.0	-77.3	-75.6	-73.7	
Sales to New Listings Ratio 1	333.3	80.0	125.0	80.0	66.7	120.0	66.7	
Months of Inventory ²	1.0	2.8	3.8	5.0	11.0	6.8	9.5	
Average Price	\$563,823	25.2	42.9	220.4	109.2	80.1	161.3	
Median Price	\$591,000	37.5	77.4	307.6	125.1	87.5	166.7	
Sales to List Price Ratio	97.7	98.3	94.6	93.0	96.8	95.9	95.4	
Median Days on Market	43.0	46.0	49.0	103.5	107.0	125.0	128.5	
				Compa	red to ⁶			
Year-to-date	October 2020	October 2019	October 2018	Compa October 2017	October 2015	October 2013	October 2010	
Year-to-date Sales Activity				October	October			
	2020	2019	2018	October 2017	October 2015	2013	2010	
Sales Activity	2020 50	6.4	0.0	October 2017 -13.8	October 2015 51.5	31.6	2010 31.6	
Sales Activity Dollar Volume	2020 50 \$25,589,433	6.4 14.8	0.0 40.7	October 2017 -13.8 40.5	October 2015 51.5 168.1	31.6 115.7	31.6 174.6	
Sales Activity Dollar Volume New Listings	2020 50 \$25,589,433 62	2019 6.4 14.8 -16.2	2018 0.0 40.7 -7.5	October 2017 -13.8 40.5 -4.6	October 2015 51.5 168.1 -17.3	2013 31.6 115.7 -11.4	2010 31.6 174.6 -33.3	
Sales Activity Dollar Volume New Listings Active Listings	2020 50 \$25,589,433 62 21	2019 6.4 14.8 -16.2 -9.6	2018 0.0 40.7 -7.5 8.9	October 2017 -13.8 40.5 -4.6 -17.5	October 2015 51.5 168.1 -17.3 -49.9	2013 31.6 115.7 -11.4 -50.7	2010 31.6 174.6 -33.3 -28.5	
Sales Activity Dollar Volume New Listings Active Listings Sales to New Listings Ratio 4	2020 50 \$25,589,433 62 21 80.6	2019 6.4 14.8 -16.2 -9.6 63.5	2018 0.0 40.7 -7.5 8.9 74.6	October 2017 -13.8 40.5 -4.6 -17.5 89.2	October 2015 51.5 168.1 -17.3 -49.9 44.0	2013 31.6 115.7 -11.4 -50.7 54.3	2010 31.6 174.6 -33.3 -28.5 40.9	
Sales Activity Dollar Volume New Listings Active Listings Sales to New Listings Ratio Months of Inventory	2020 50 \$25,589,433 62 21 80.6 4.2	2019 6.4 14.8 -16.2 -9.6 63.5 4.9	2018 0.0 40.7 -7.5 8.9 74.6 3.8	October 2017 -13.8 40.5 -4.6 -17.5 89.2 4.3	October 2015 51.5 168.1 -17.3 -49.9 44.0 12.6	2013 31.6 115.7 -11.4 -50.7 54.3 11.1	2010 31.6 174.6 -33.3 -28.5 40.9 7.7	
Sales Activity Dollar Volume New Listings Active Listings Sales to New Listings Ratio Months of Inventory Average Price	2020 50 \$25,589,433 62 21 80.6 4.2 \$511,789	2019 6.4 14.8 -16.2 -9.6 63.5 4.9 7.9	2018 0.0 40.7 -7.5 8.9 74.6 3.8 40.7	October 2017 -13.8 40.5 -4.6 -17.5 89.2 4.3 63.0	October 2015 51.5 168.1 -17.3 -49.9 44.0 12.6 76.9	2013 31.6 115.7 -11.4 -50.7 54.3 11.1 63.9	2010 31.6 174.6 -33.3 -28.5 40.9 7.7 108.7	

Sales / new listings * 100; Compared to levels from previous periods.

Active listings at month end / monthly sales; Compared to levels from previous periods.

The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year.

 $^{^{4}}$ Sum of sales from January to current month / sum of new listings from January to current month.

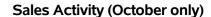
The year-to-date months of inventory figure is calculated as: average active listings from January to current month / average sales from January to current month.

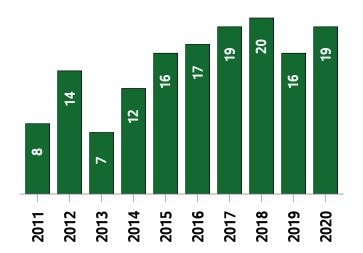
⁶ Sales to new listings ratio, months of inventory and median days on market shown as levels; all others calculated as percentage changes.



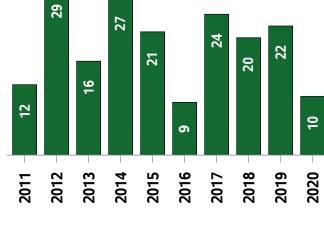
Trail MLS® Residential Market Activity





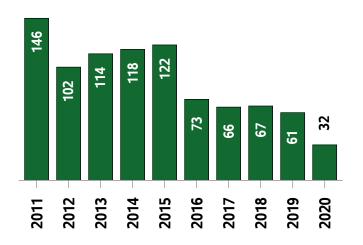


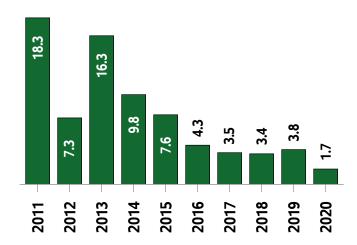
Active Listings (October only)



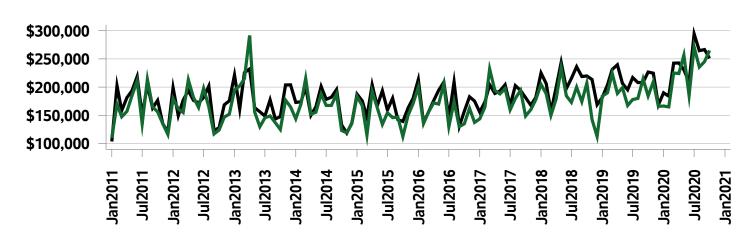
New Listings (October only)

Months of Inventory (October only)





Average Price and Median Price

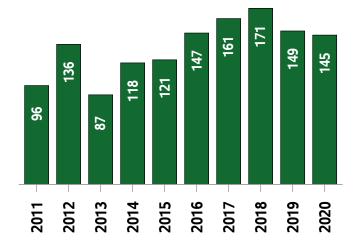




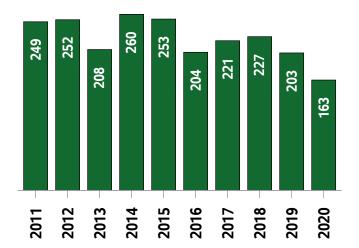
Trail MLS® Residential Market Activity



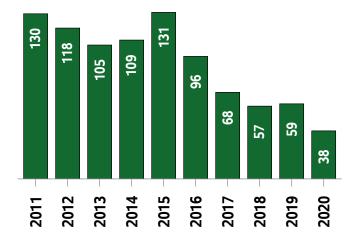
Sales Activity (October Year-to-date)



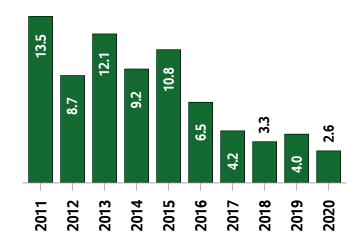
New Listings (October Year-to-date)



Active Listings 1 (October Year-to-date)



Months of Inventory ² (October Year-to-date)



¹ The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year

² Average active listings January to the current month/average of sales January to the current month



Trail MLS® Residential Market Activity



			Compared to ⁶					
Actual	October 2020	October 2019	October 2018	October 2017	October 2015	October 2013	October 2010	
Sales Activity	19	18.8	-5.0	0.0	18.8	171.4	35.7	
Dollar Volume	\$4,768,000	31.5	8.5	38.4	114.0	361.2	63.7	
New Listings	10	-54.5	-50.0	-58.3	-52.4	-37.5	-58.3	
Active Listings	32	-47.5	-52.2	-51.5	-73.8	-71.9	-73.1	
Sales to New Listings Ratio 1	190.0	72.7	100.0	79.2	76.2	43.8	58.3	
Months of Inventory 2	1.7	3.8	3.4	3.5	7.6	16.3	8.5	
Average Price	\$250,947	10.7	14.2	38.4	80.2	69.9	20.6	
Median Price	\$265,000	43.8	28.0	78.1	135.4	112.0	20.2	
Sales to List Price Ratio	97.5	97.0	96.1	95.0	91.7	91.4	91.7	
Median Days on Market	28.0	32.5	45.0	77.0	139.5	47.0	81.5	
				Compa	red to '			
Year-to-date	October 2020	October 2019	October 2018	October 2017	October 2015	October 2013	October 2010	
Sales Activity	145	-2.7	-15.2	-9.9	19.8	66.7	74.7	
Dollar Volume	\$35,326,876	11.8	-3.3	15.9	73.4	135.4	127.4	
New Listings	163	-19.7	-28.2	-26.2	-35.6	-21.6	-37.3	
Active Listings ³	38	-36.0	-34.0	-44.5	-71.1	-64.1	-58.2	
Sales to New Listings Ratio ⁴	89.0	73.4	75.3	72.9	47.8	41.8	31.9	
Months of Inventory ^⁵	2.6	4.0	3.3	4.2	10.8	12.1	10.9	
Average Price		14.9	14.1	28.7	44.7	41.2	30.2	
Average Price	\$243,634	11.5						
Median Price	\$243,634 \$225,000	19.2	20.3	26.4	48.0	44.2	29.3	
			20.3 97.1	26.4 95.0	48.0 93.5	44.2 94.6	29.3 93.8	

Sales / new listings * 100; Compared to levels from previous periods.

 $^{^{\}rm 2}$ $\,$ Active listings at month end / monthly sales; Compared to levels from previous periods.

The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year.

 $^{^{\}rm 4}$ $\,$ Sum of sales from January to current month / sum of new listings from January to current month.

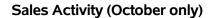
The year-to-date months of inventory figure is calculated as: average active listings from January to current month / average sales from January to current month.

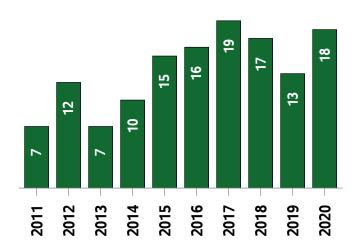
⁶ Sales to new listings ratio, months of inventory and median days on market shown as levels; all others calculated as percentage changes.



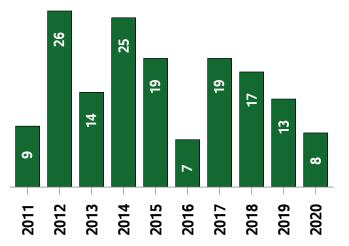
Trail MLS® Single Family Market Activity



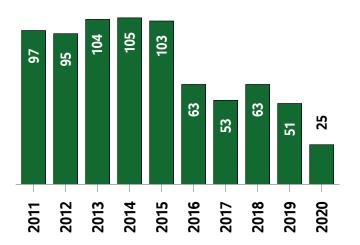




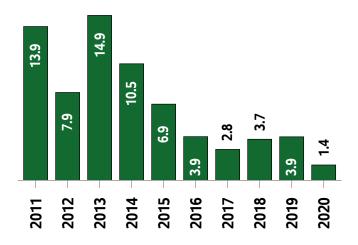
New Listings (October only)



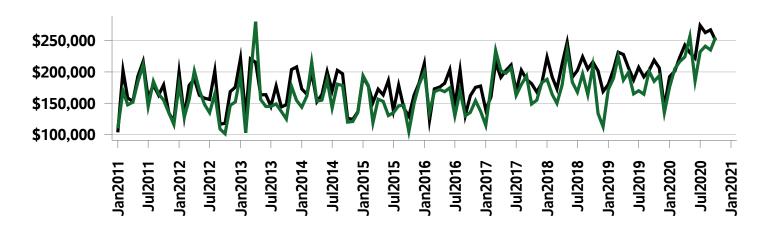
Active Listings (October only)



Months of Inventory (October only)



Average Price and Median Price

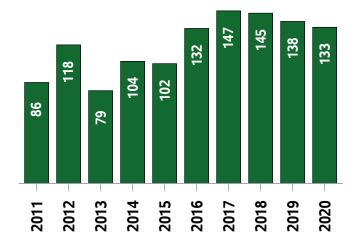




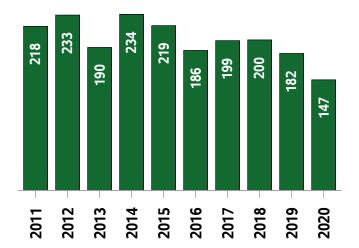
Trail MLS® Single Family Market Activity



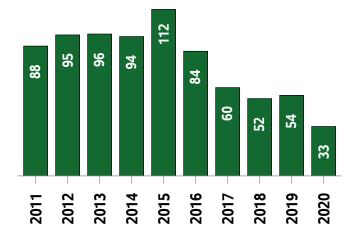




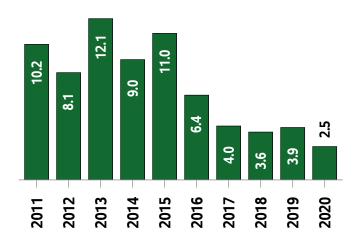
New Listings (October Year-to-date)



Active Listings ¹ (October Year-to-date)



Months of Inventory ² (October Year-to-date)



¹ The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year

² Average active listings January to the current month/average of sales January to the current month



Trail MLS® Single Family Market Activity



			Compared to ⁶					
Actual	October 2020	October 2019	October 2018	October 2017	October 2015	October 2013	October 2010	
Sales Activity	18	38.5	5.9	-5.3	20.0	157.1	28.6	
Dollar Volume	\$4,503,000	58.4	22.7	30.7	132.3	335.5	54.6	
New Listings	8	-38.5	-52.9	-57.9	-57.9	-42.9	-61.9	
Active Listings	25	-51.0	-60.3	-52.8	-75.7	-76.0	-67.5	
Sales to New Listings Ratio 1	225.0	100.0	100.0	100.0	78.9	50.0	66.7	
Months of Inventory ²	1.4	3.9	3.7	2.8	6.9	14.9	5.5	
Average Price	\$250,167	14.4	15.9	37.9	93.6	69.4	20.3	
Median Price	\$255,000	37.8	22.0	71.4	142.9	104.0	15.6	
Sales to List Price Ratio	97.7	97.0	96.4	95.0	91.3	91.4	91.7	
Median Days on Market	26.5	36.0	48.0	77.0	137.0	47.0	81.5	
modum z dyo on mantot								
				<u> </u>	red to ⁶			
Year-to-date	October 2020	October 2019	October 2018	<u> </u>	October 2015	October 2013	October 2010	
	October	October	October	Compa	October	October		
Year-to-date	October 2020	October 2019	October 2018	Compa October 2017	October 2015	October 2013	2010	
Year-to-date Sales Activity	October 2020 133	October 2019 -3.6	October 2018 -8.3	October 2017	October 2015 30.4	October 2013 68.4	2010 84.7	
Year-to-date Sales Activity Dollar Volume	October 2020 133 \$32,263,376	October 2019 -3.6 13.6	October 2018 -8.3 6.1	October 2017 -9.5 14.9	October 2015 30.4 96.0	October 2013 68.4 142.3	2010 84.7 138.7	
Year-to-date Sales Activity Dollar Volume New Listings	October 2020 133 \$32,263,376	October 2019 -3.6 13.6 -19.2	October 2018 -8.3 -6.1 -26.5	October 2017 -9.5 14.9 -26.1	October 2015 30.4 96.0 -32.9	October 2013 68.4 142.3 -22.6	2010 84.7 138.7 -25.4	
Year-to-date Sales Activity Dollar Volume New Listings Active Listings	October 2020 133 \$32,263,376 147 33	October 2019 -3.6 13.6 -19.2 -38.7	October 2018 -8.3 6.1 -26.5 -36.1	October 2017 -9.5 14.9 -26.1 -44.0	October 2015 30.4 96.0 -32.9 -70.3	October 2013 68.4 142.3 -22.6 -65.2	2010 84.7 138.7 -25.4 -48.2	
Year-to-date Sales Activity Dollar Volume New Listings Active Listings Sales to New Listings Ratio 4	October 2020 133 \$32,263,376 147 33 90.5	October 2019 -3.6 13.6 -19.2 -38.7 75.8	October 2018 -8.3 6.1 -26.5 -36.1 72.5	October 2017 -9.5 14.9 -26.1 -44.0 73.9	October 2015 30.4 96.0 -32.9 -70.3 46.6	October 2013 68.4 142.3 -22.6 -65.2 41.6	2010 84.7 138.7 -25.4 -48.2 36.5	
Year-to-date Sales Activity Dollar Volume New Listings Active Listings Sales to New Listings Ratio 4 Months of Inventory 5	October 2020 133 \$32,263,376 147 33 90.5 2.5	October 2019 -3.6 13.6 -19.2 -38.7 75.8 3.9	October 2018 -8.3 6.1 -26.5 -36.1 72.5 3.6	October 2017 -9.5 14.9 -26.1 -44.0 73.9 4.0	October 2015 30.4 96.0 -32.9 -70.3 46.6 11.0	October 2013 68.4 142.3 -22.6 -65.2 41.6 12.1	2010 84.7 138.7 -25.4 -48.2 36.5 8.9	
Year-to-date Sales Activity Dollar Volume New Listings Active Listings Sales to New Listings Ratio Months of Inventory Average Price	October 2020 133 \$32,263,376 147 33 90.5 2.5 \$242,582	October 2019 -3.6 13.6 -19.2 -38.7 75.8 3.9 17.8	October 2018 -8.3 -8.1 -26.5 -36.1 72.5 3.6 15.6	October 2017 -9.5 14.9 -26.1 -44.0 73.9 4.0 27.0	October 2015 30.4 96.0 -32.9 -70.3 46.6 11.0 50.3	October 2013 68.4 142.3 -22.6 -65.2 41.6 12.1 43.9	2010 84.7 138.7 -25.4 -48.2 36.5 8.9 29.2	

Sales / new listings * 100; Compared to levels from previous periods.

Active listings at month end / monthly sales; Compared to levels from previous periods.

³ The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year.

 $^{^{\}rm 4}$ $\,$ Sum of sales from January to current month / sum of new listings from January to current month.

The year-to-date months of inventory figure is calculated as: average active listings from January to current month / average sales from January to current month.

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