



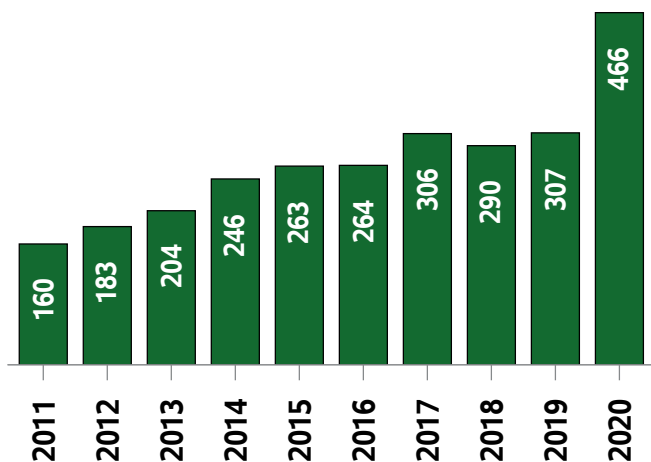
## **Kootenay Association of REALTORS® Residential Market Activity October 2020**



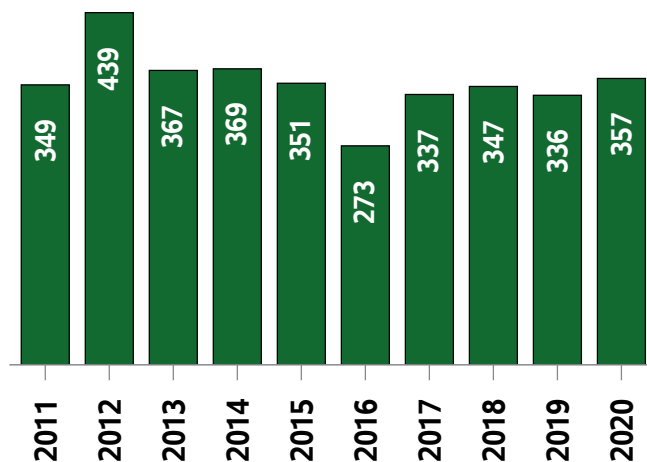
Prepared for the Kootenay Association of REALTORS by the Canadian Real Estate Association

# Kootenay Association of REALTORS® MLS® Residential Market Activity

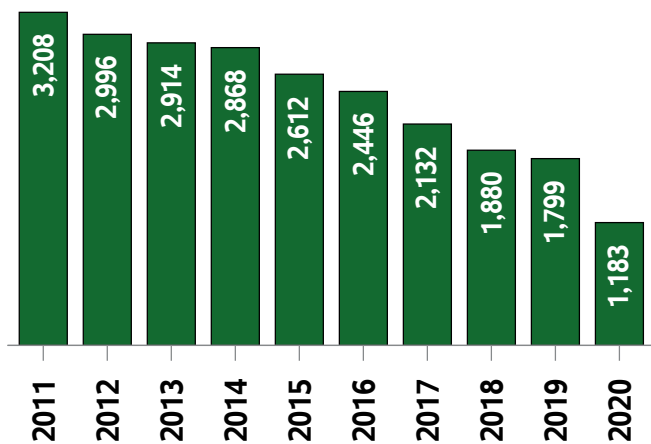
Sales Activity (October only)



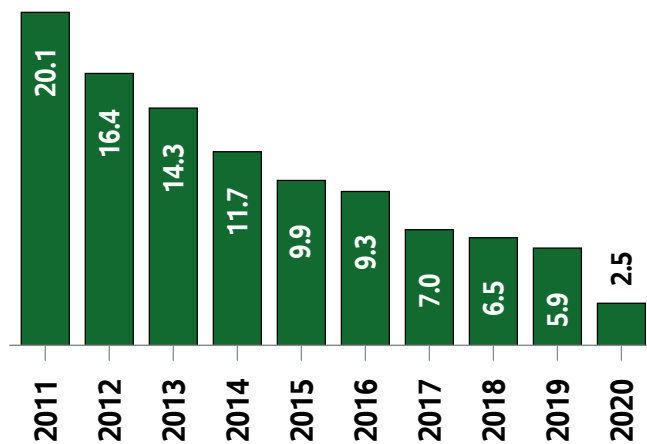
New Listings (October only)



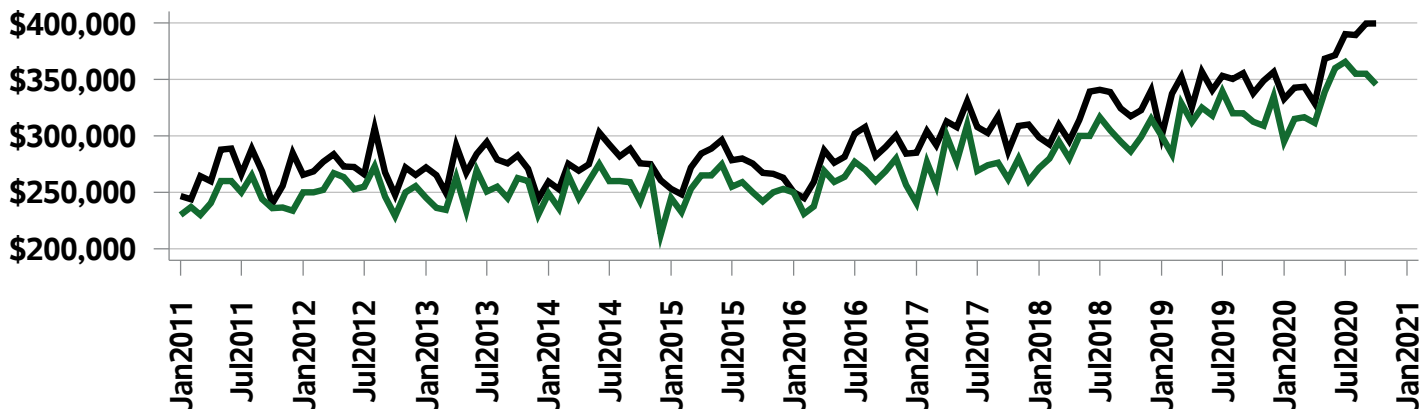
Active Listings (October only)



Months of Inventory (October only)

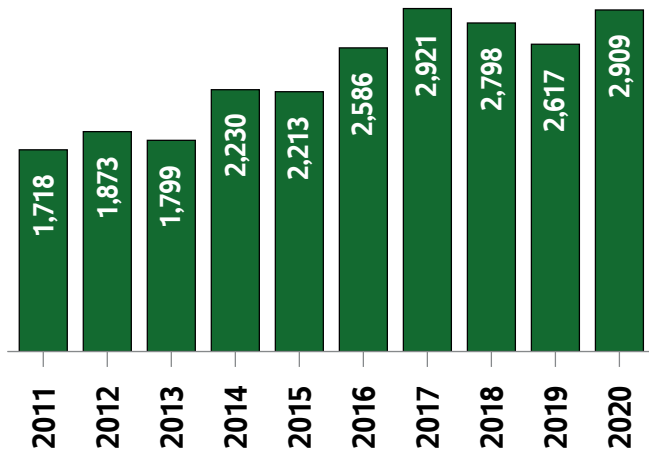


Average Price and Median Price

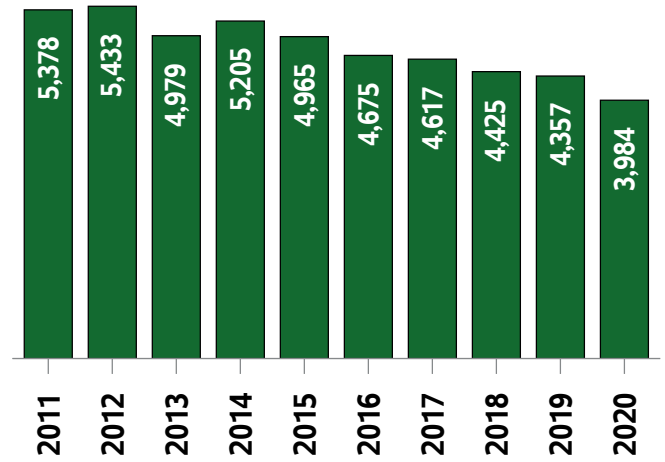


# Kootenay Association of REALTORS® MLS® Residential Market Activity

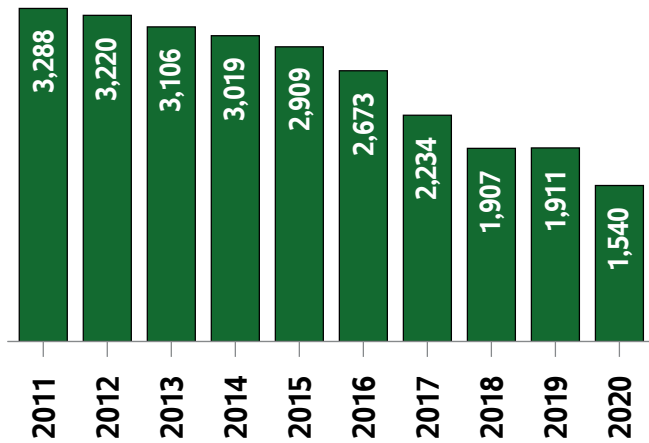
**Sales Activity (October Year-to-date)**



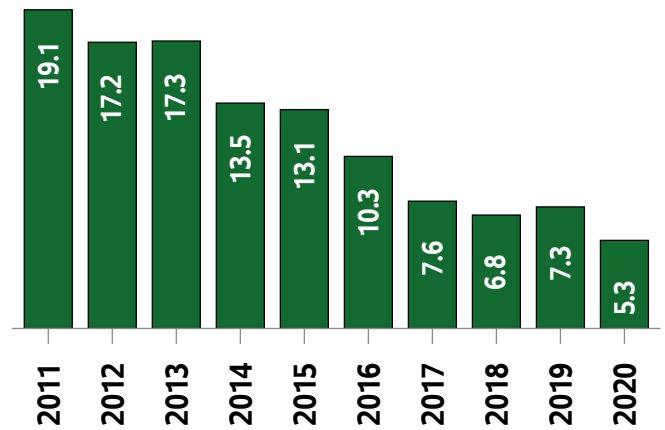
**New Listings (October Year-to-date)**



**Active Listings <sup>1</sup> (October Year-to-date)**



**Months of Inventory <sup>2</sup> (October Year-to-date)**



<sup>1</sup> The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year

<sup>2</sup> Average active listings January to the current month/average of sales January to the current month

# Kootenay Association of REALTORS®

## MLS® Residential Market Activity

Actual	October 2020	Compared to <sup>6</sup>					
		October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Sales Activity	466	51.8	60.7	52.3	77.2	128.4	232.9
Dollar Volume	\$186,173,806	79.6	102.3	112.5	164.9	222.9	370.8
New Listings	357	6.3	2.9	5.9	1.7	-2.7	-16.4
Active Listings	1,183	-34.2	-37.1	-44.5	-54.7	-59.4	-62.4
Sales to New Listings Ratio <sup>1</sup>	130.5	91.4	83.6	90.8	74.9	55.6	32.8
Months of Inventory <sup>2</sup>	2.5	5.9	6.5	7.0	9.9	14.3	22.5
Average Price	\$399,515	18.3	25.9	39.6	49.5	41.3	41.4
Median Price	\$345,500	10.6	20.7	32.0	42.8	31.6	31.4
Sales to List Price Ratio	96.9	95.5	95.4	95.1	94.1	94.3	94.0
Median Days on Market	44.5	70.0	68.0	76.5	99.0	107.5	80.5
Year-to-date	October 2020	Compared to <sup>6</sup>					
		October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Sales Activity	2,909	11.2	4.0	-0.4	31.5	61.7	64.1
Dollar Volume	\$1,099,863,564	22.3	22.7	22.7	79.3	119.1	125.8
New Listings	3,984	-8.6	-10.0	-13.7	-19.8	-20.0	-32.1
Active Listings <sup>3</sup>	1,540	-19.4	-19.2	-31.0	-47.1	-50.4	-53.5
Sales to New Listings Ratio <sup>4</sup>	73.0	60.1	63.2	63.3	44.6	36.1	30.2
Months of Inventory <sup>5</sup>	5.3	7.3	6.8	7.6	13.1	17.3	18.7
Average Price	\$378,090	10.0	18.1	23.2	36.4	35.5	37.6
Median Price	\$345,700	8.0	17.2	25.3	35.6	38.3	34.0
Sales to List Price Ratio	96.6	96.0	96.2	95.8	94.5	94.2	94.4
Median Days on Market	55.0	58.0	59.0	66.0	91.0	87.0	57.0

<sup>1</sup> Sales / new listings \* 100; Compared to levels from previous periods.

<sup>2</sup> Active listings at month end / monthly sales; Compared to levels from previous periods.

<sup>3</sup> The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year.

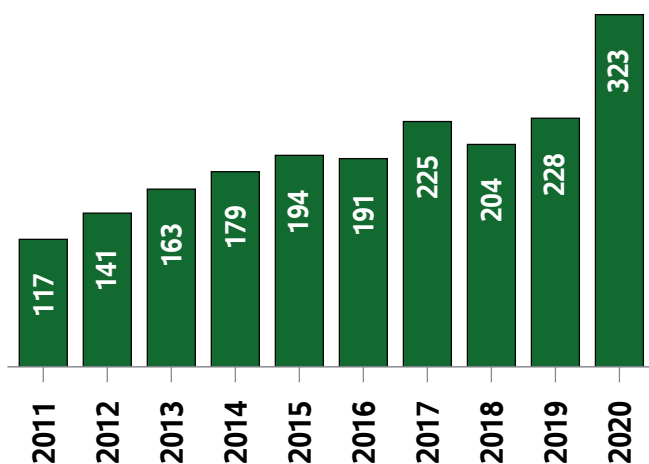
<sup>4</sup> Sum of sales from January to current month / sum of new listings from January to current month.

<sup>5</sup> The year-to-date months of inventory figure is calculated as: average active listings from January to current month / average sales from January to current month.

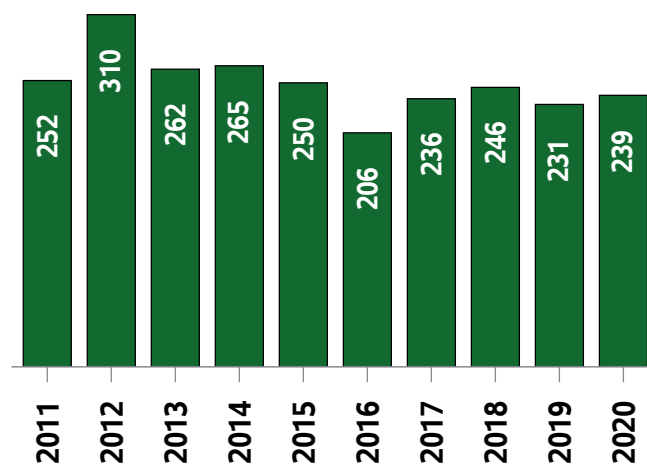
<sup>6</sup> Sales to new listings ratio, months of inventory and median days on market shown as levels; all others calculated as percentage changes.

# Kootenay Association of REALTORS® MLS® Single Family Market Activity

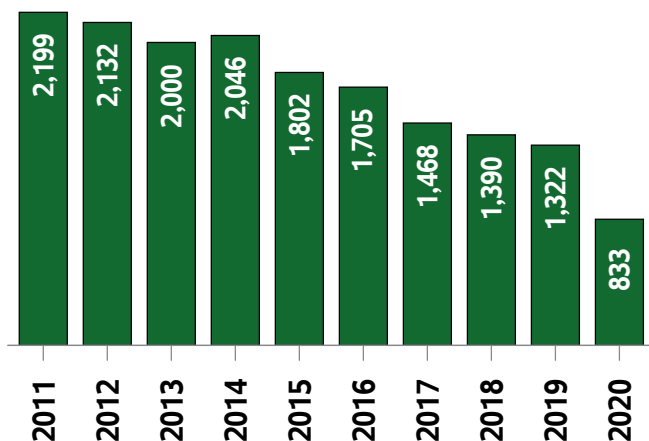
Sales Activity (October only)



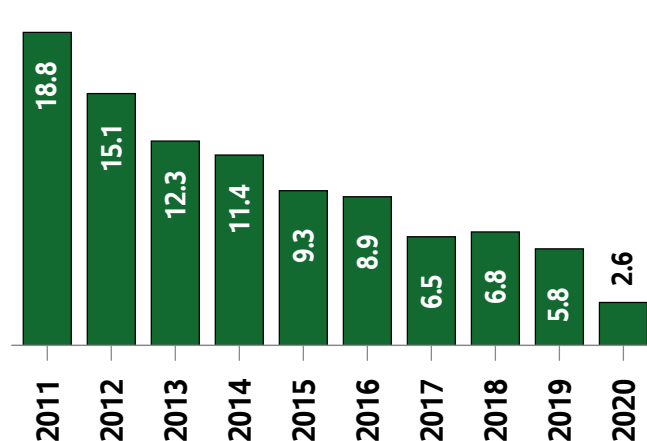
New Listings (October only)



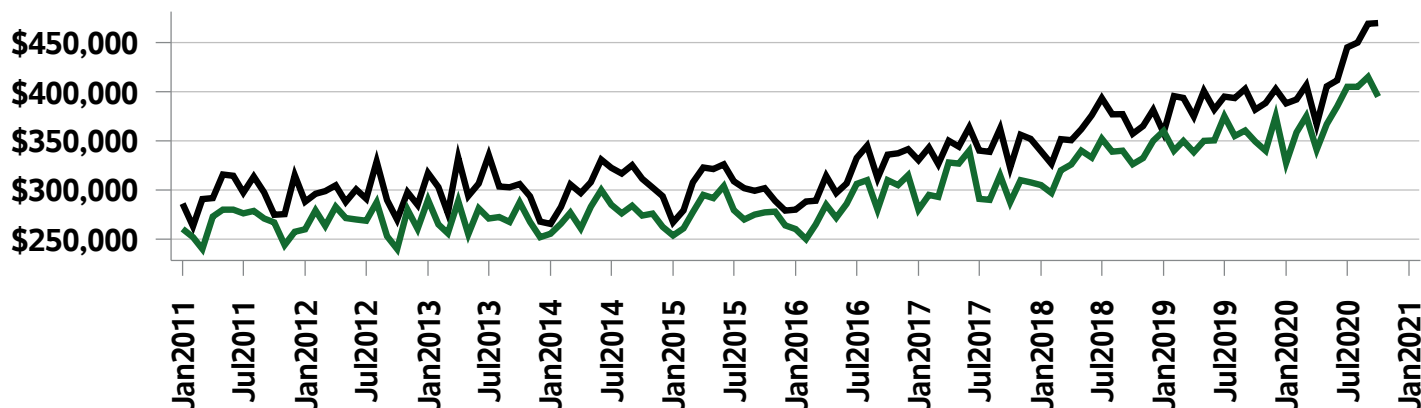
Active Listings (October only)



Months of Inventory (October only)

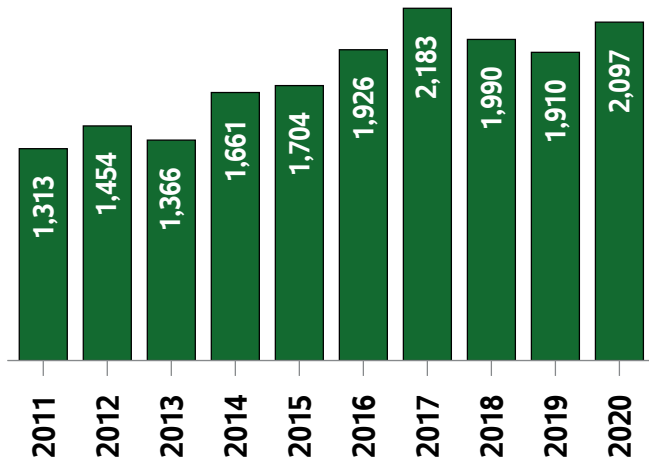


Average Price and Median Price

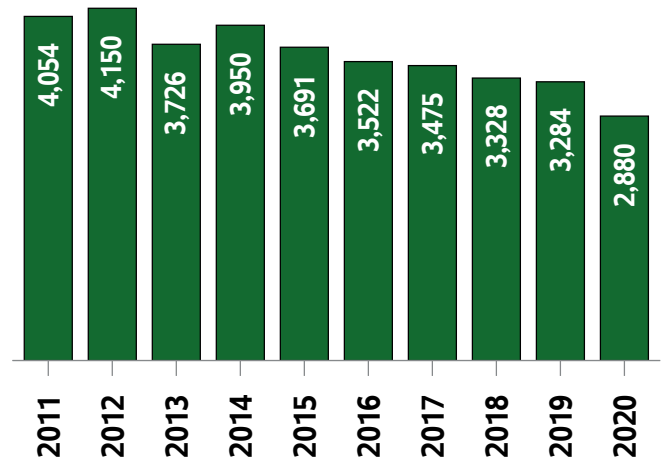


# Kootenay Association of REALTORS® MLS® Single Family Market Activity

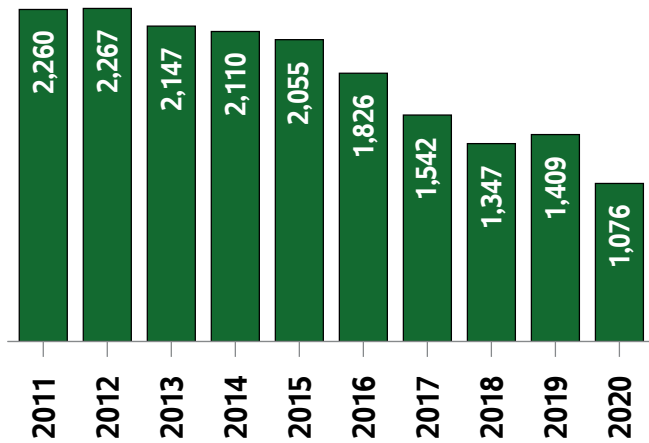
**Sales Activity (October Year-to-date)**



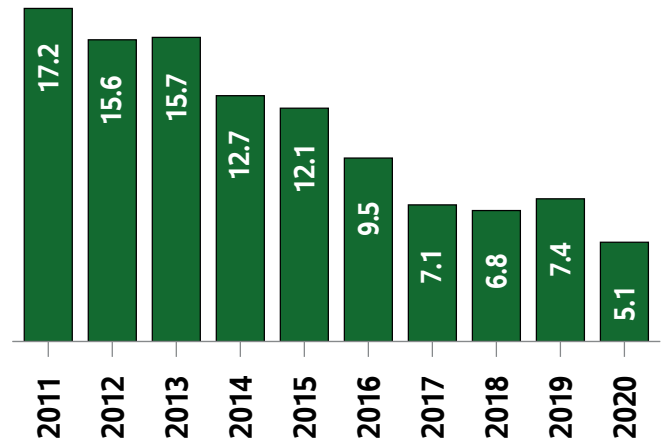
**New Listings (October Year-to-date)**



**Active Listings <sup>1</sup> (October Year-to-date)**



**Months of Inventory <sup>2</sup> (October Year-to-date)**



<sup>1</sup> The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year

<sup>2</sup> Average active listings January to the current month/average of sales January to the current month

# Kootenay Association of REALTORS® MLS® Single Family Market Activity

Actual	October 2020	Compared to <sup>6</sup>					
		October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Sales Activity	323	41.7	58.3	43.6	66.5	98.2	178.4
Dollar Volume	\$151,751,579	74.4	108.3	109.0	159.2	204.2	348.5
New Listings	239	3.5	-2.8	1.3	-4.4	-8.8	-10.2
Active Listings	833	-37.0	-40.1	-43.3	-53.8	-58.4	-61.5
Sales to New Listings Ratio <sup>1</sup>	135.1	98.7	82.9	95.3	77.6	62.2	43.6
Months of Inventory <sup>2</sup>	2.6	5.8	6.8	6.5	9.3	12.3	18.7
Average Price	\$469,819	23.1	31.5	45.6	55.7	53.5	61.1
Median Price	\$395,000	13.1	21.1	37.4	42.5	37.4	43.9
Sales to List Price Ratio	96.9	95.7	95.5	95.4	94.2	94.6	94.3
Median Days on Market	46.0	71.5	62.0	74.0	96.5	103.0	77.0
Year-to-date	October 2020	Compared to <sup>6</sup>					
		October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Sales Activity	2,097	9.8	5.4	-3.9	23.1	53.5	55.8
Dollar Volume	\$912,860,860	22.6	25.6	21.5	74.5	115.8	125.9
New Listings	2,880	-12.3	-13.5	-17.1	-22.0	-22.7	-33.7
Active Listings <sup>3</sup>	1,076	-23.6	-20.1	-30.2	-47.6	-49.9	-53.8
Sales to New Listings Ratio <sup>4</sup>	72.8	58.2	59.8	62.8	46.2	36.7	31.0
Months of Inventory <sup>5</sup>	5.1	7.4	6.8	7.1	12.1	15.7	17.3
Average Price	\$435,318	11.7	19.2	26.5	41.8	40.6	45.0
Median Price	\$389,900	10.5	18.2	27.4	39.3	41.8	39.9
Sales to List Price Ratio	96.8	96.3	96.6	96.1	94.8	94.5	94.8
Median Days on Market	52.0	57.0	55.0	63.0	88.0	82.0	51.5

<sup>1</sup> Sales / new listings \* 100; Compared to levels from previous periods.

<sup>2</sup> Active listings at month end / monthly sales; Compared to levels from previous periods.

<sup>3</sup> The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year.

<sup>4</sup> Sum of sales from January to current month / sum of new listings from January to current month.

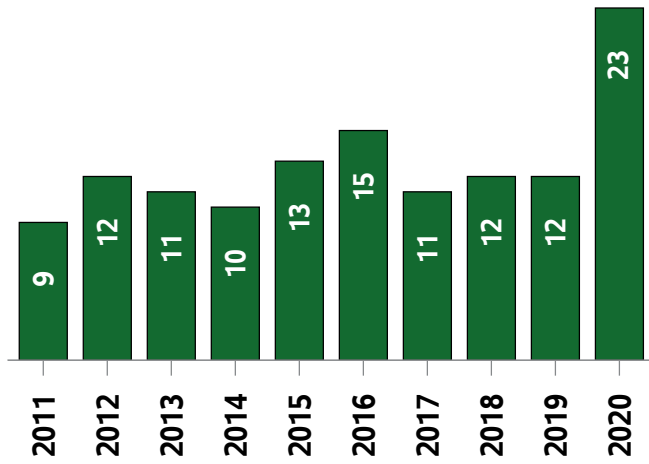
<sup>5</sup> The year-to-date months of inventory figure is calculated as: average active listings from January to current month / average sales from January to current month.

<sup>6</sup> Sales to new listings ratio, months of inventory and median days on market shown as levels; all others calculated as percentage changes.

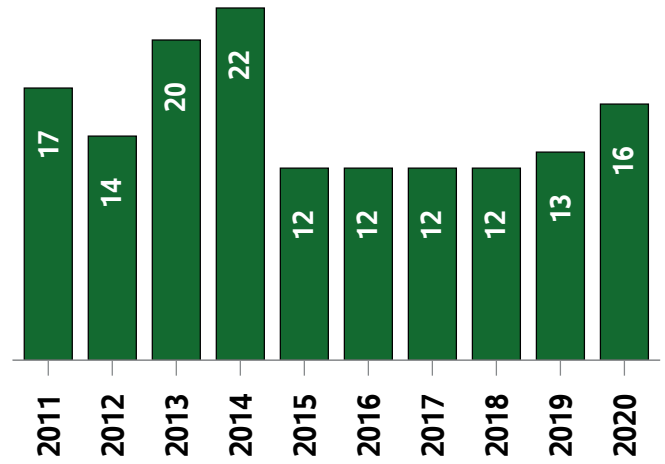


## Castlegar MLS® Residential Market Activity

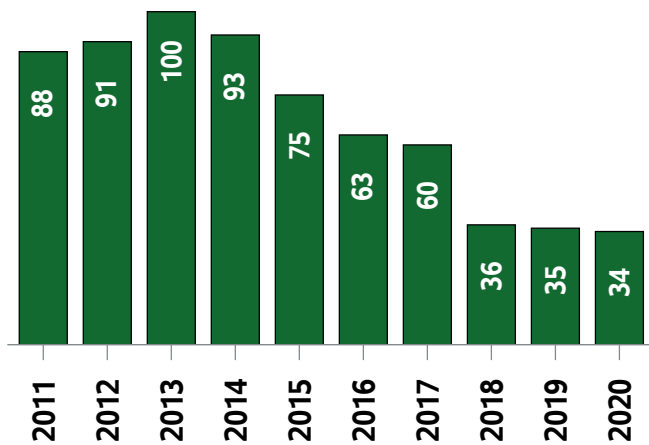
Sales Activity (October only)



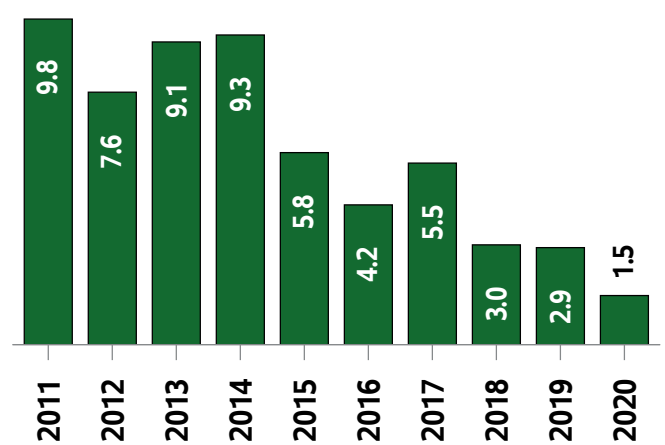
New Listings (October only)



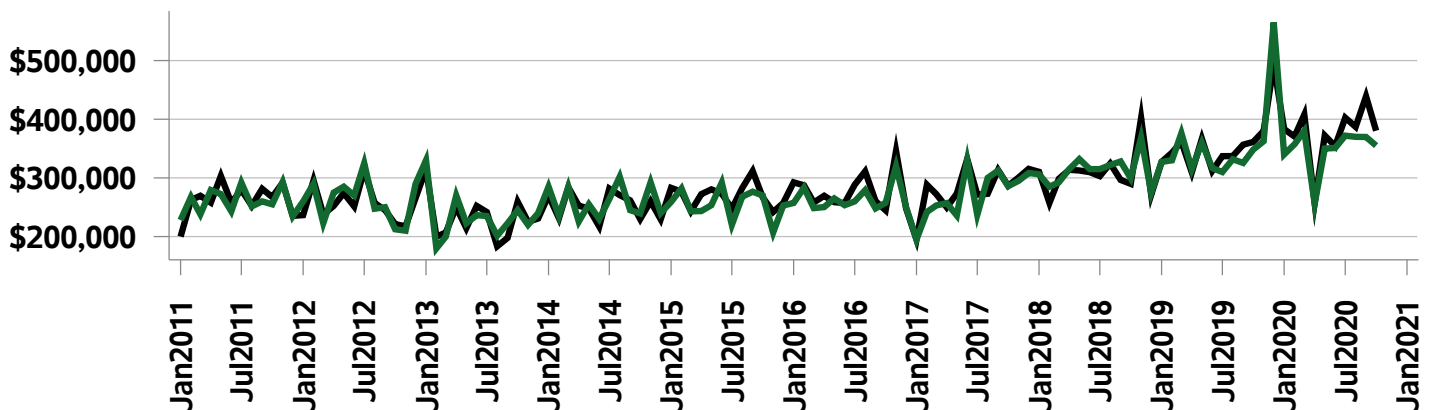
Active Listings (October only)



Months of Inventory (October only)



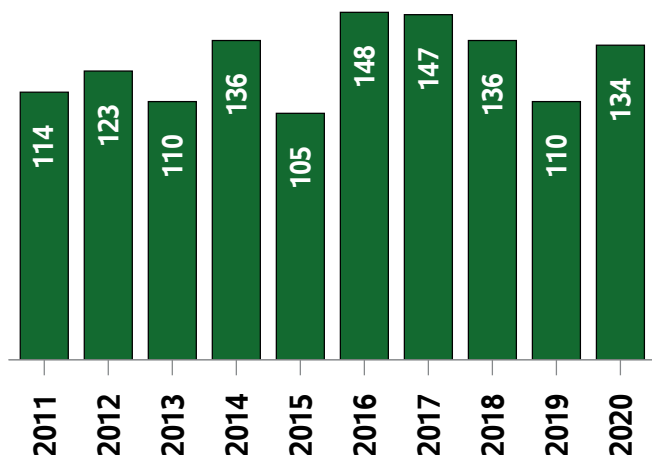
Average Price and Median Price



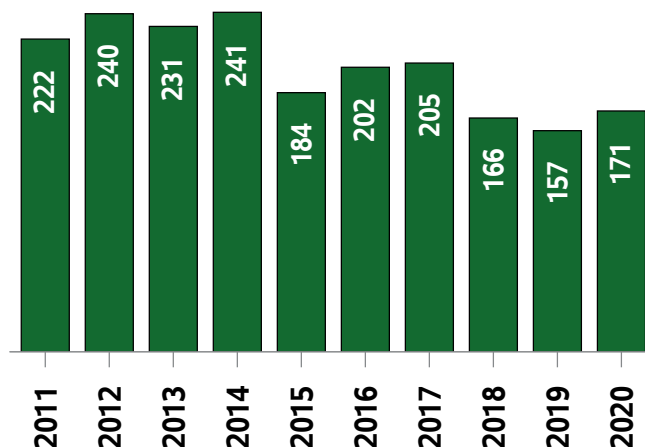


# Castlegar MLS® Residential Market Activity

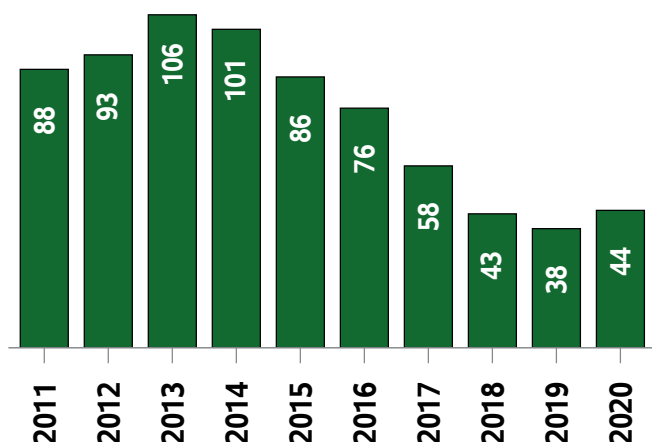
**Sales Activity (October Year-to-date)**



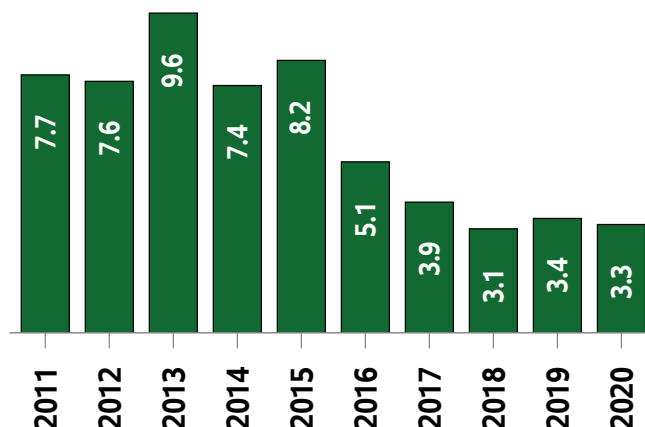
**New Listings (October Year-to-date)**



**Active Listings <sup>1</sup> (October Year-to-date)**



**Months of Inventory <sup>2</sup> (October Year-to-date)**



<sup>1</sup> The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year

<sup>2</sup> Average active listings January to the current month/average of sales January to the current month

# Castlegar

## MLS® Residential Market Activity

Actual	October 2020	Compared to <sup>6</sup>					
		October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Sales Activity	23	91.7	91.7	109.1	76.9	109.1	666.7
Dollar Volume	\$8,749,446	101.8	151.5	177.6	152.3	206.7	854.1
New Listings	16	23.1	33.3	33.3	33.3	-20.0	-20.0
Active Listings	34	-2.9	-5.6	-43.3	-54.7	-66.0	-62.6
Sales to New Listings Ratio <sup>1</sup>	143.8	92.3	100.0	91.7	108.3	55.0	15.0
Months of Inventory <sup>2</sup>	1.5	2.9	3.0	5.5	5.8	9.1	30.3
Average Price	\$380,411	5.3	31.2	32.8	42.6	46.7	24.5
Median Price	\$355,000	1.9	18.5	24.1	31.5	44.9	29.1
Sales to List Price Ratio	98.4	98.9	97.4	96.2	96.2	95.0	97.6
Median Days on Market	53.0	30.5	48.5	69.0	67.0	61.0	80.0
Year-to-date	October 2020	Compared to <sup>6</sup>					
		October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Sales Activity	134	21.8	-1.5	-8.8	27.6	21.8	38.1
Dollar Volume	\$51,444,146	36.7	24.3	24.1	79.8	103.1	107.3
New Listings	171	8.9	3.0	-16.6	-7.1	-26.0	-32.1
Active Listings <sup>3</sup>	44	15.3	2.6	-24.4	-49.2	-58.7	-40.1
Sales to New Listings Ratio <sup>4</sup>	78.4	70.1	81.9	71.7	57.1	47.6	38.5
Months of Inventory <sup>5</sup>	3.3	3.4	3.1	3.9	8.2	9.6	7.5
Average Price	\$383,912	12.2	26.2	36.1	40.9	66.7	50.0
Median Price	\$358,275	8.6	16.1	24.8	35.2	57.1	43.3
Sales to List Price Ratio	97.9	98.0	97.5	96.5	96.0	94.6	95.9
Median Days on Market	38.5	34.5	34.0	47.0	79.0	70.0	25.0

<sup>1</sup> Sales / new listings \* 100; Compared to levels from previous periods.

<sup>2</sup> Active listings at month end / monthly sales; Compared to levels from previous periods.

<sup>3</sup> The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year.

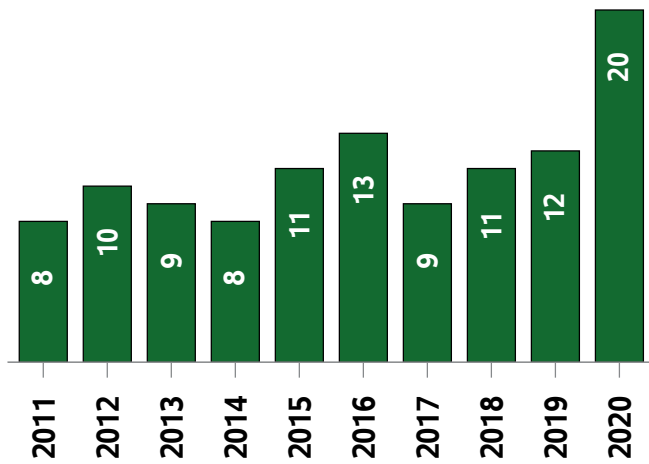
<sup>4</sup> Sum of sales from January to current month / sum of new listings from January to current month.

<sup>5</sup> The year-to-date months of inventory figure is calculated as: average active listings from January to current month / average sales from January to current month.

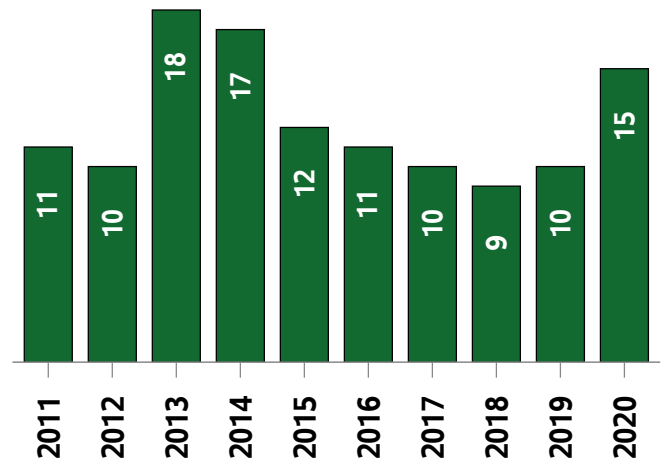
<sup>6</sup> Sales to new listings ratio, months of inventory and median days on market shown as levels; all others calculated as percentage changes.

## Castlegar MLS® Single Family Market Activity

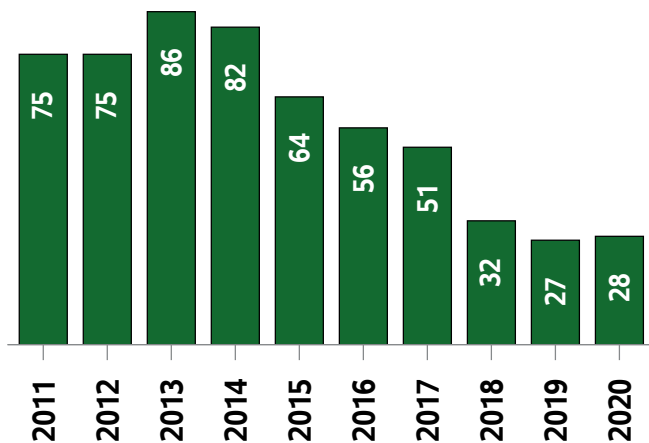
Sales Activity (October only)



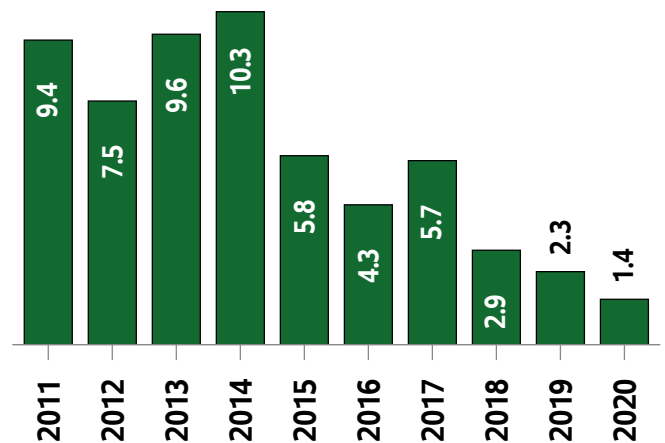
New Listings (October only)



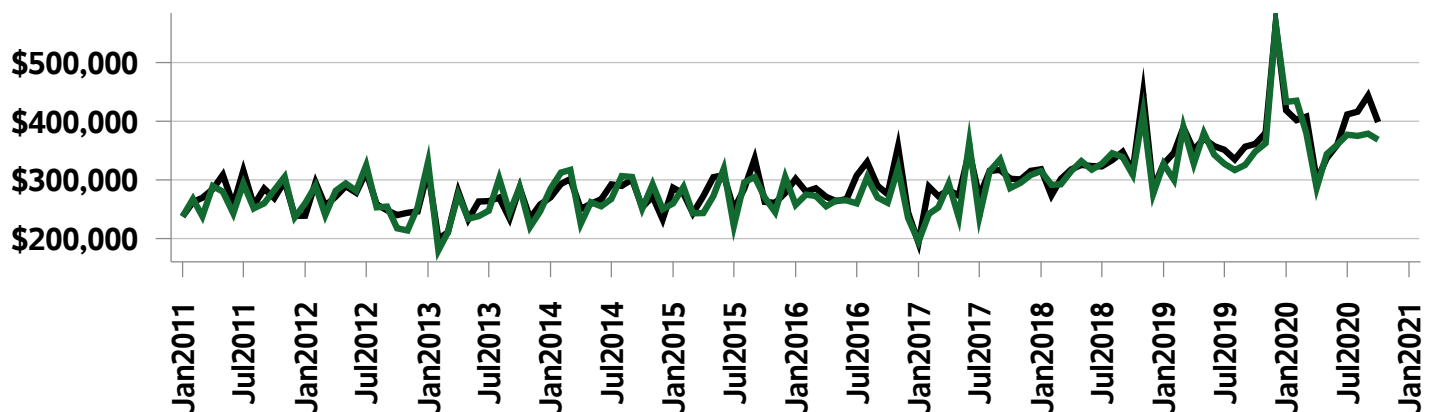
Active Listings (October only)



Months of Inventory (October only)

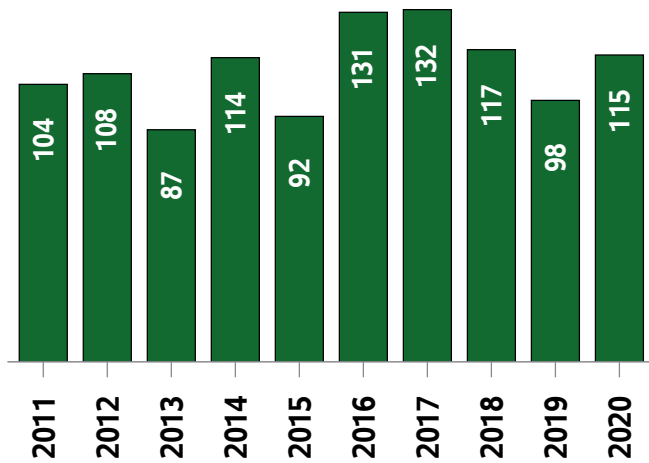


Average Price and Median Price

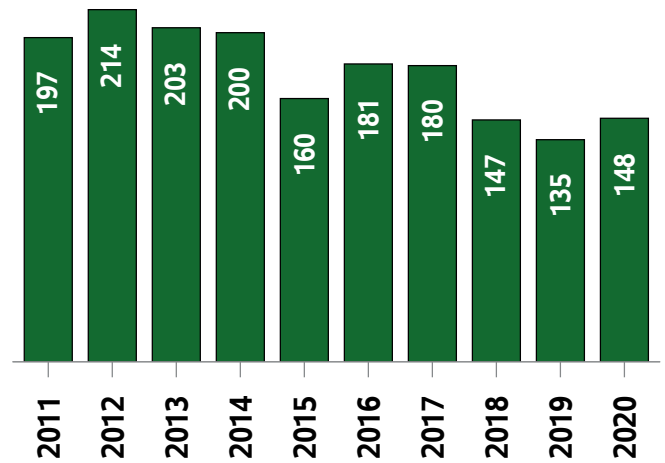


## Castlegar MLS® Single Family Market Activity

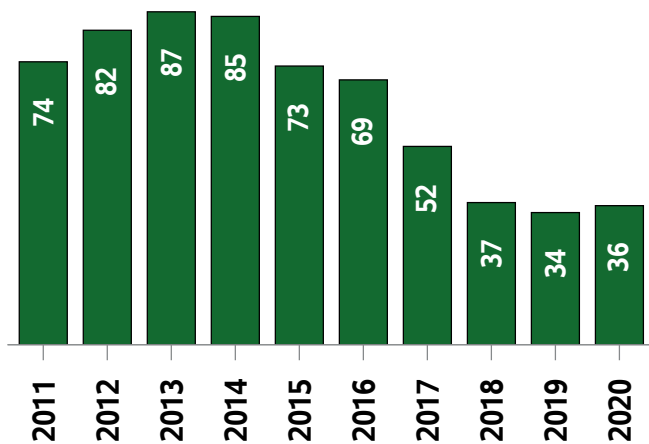
Sales Activity (October Year-to-date)



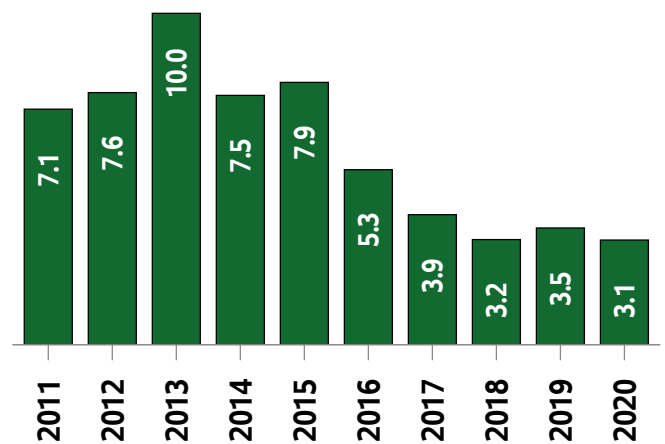
New Listings (October Year-to-date)



Active Listings <sup>1</sup> (October Year-to-date)



Months of Inventory <sup>2</sup> (October Year-to-date)



<sup>1</sup> The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year

<sup>2</sup> Average active listings January to the current month/average of sales January to the current month

# Castlegar

## MLS® Single Family Market Activity

Actual	October 2020	Compared to <sup>6</sup>					
		October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Sales Activity	20	66.7	81.8	122.2	81.8	122.2	566.7
Dollar Volume	\$7,971,946	83.9	130.1	193.3	176.0	208.9	769.4
New Listings	15	50.0	66.7	50.0	25.0	-16.7	-11.8
Active Listings	28	3.7	-12.5	-45.1	-56.3	-67.4	-64.6
Sales to New Listings Ratio <sup>1</sup>	133.3	120.0	122.2	90.0	91.7	50.0	17.6
Months of Inventory <sup>2</sup>	1.4	2.3	2.9	5.7	5.8	9.6	26.3
Average Price	\$398,597	10.3	26.6	32.0	51.8	39.0	30.4
Median Price	\$368,500	5.8	19.3	28.8	36.5	28.2	34.0
Sales to List Price Ratio	98.8	98.9	97.2	96.8	96.5	95.4	97.6
Median Days on Market	35.5	30.5	50.0	69.0	42.0	64.0	80.0
Year-to-date	October 2020	Compared to <sup>6</sup>					
		October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Sales Activity	115	17.3	-1.7	-12.9	25.0	32.2	26.4
Dollar Volume	\$45,675,046	30.8	22.7	17.2	76.5	104.6	88.5
New Listings	148	9.6	0.7	-17.8	-7.5	-27.1	-34.8
Active Listings <sup>3</sup>	36	5.2	-2.2	-29.8	-50.1	-58.2	-43.2
Sales to New Listings Ratio <sup>4</sup>	77.7	72.6	79.6	73.3	57.5	42.9	40.1
Months of Inventory <sup>5</sup>	3.1	3.5	3.2	3.9	7.9	10.0	7.0
Average Price	\$397,174	11.5	24.8	34.5	41.2	54.8	49.2
Median Price	\$370,000	8.8	17.5	26.5	37.5	48.0	43.4
Sales to List Price Ratio	98.1	98.0	97.7	96.6	96.1	94.9	96.2
Median Days on Market	38.0	34.5	34.0	47.5	79.5	58.0	25.0

<sup>1</sup> Sales / new listings \* 100; Compared to levels from previous periods.

<sup>2</sup> Active listings at month end / monthly sales; Compared to levels from previous periods.

<sup>3</sup> The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year.

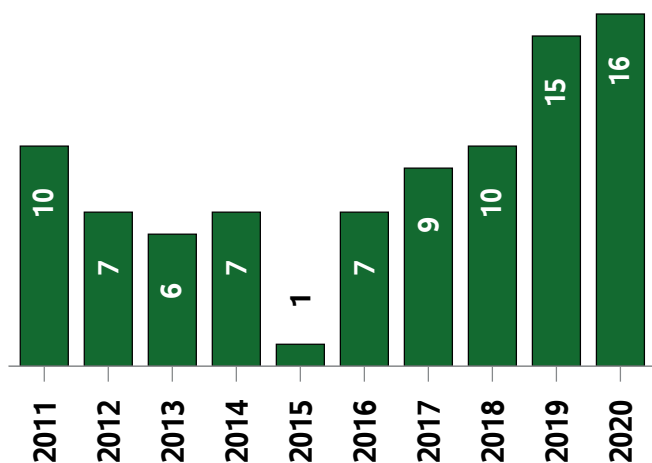
<sup>4</sup> Sum of sales from January to current month / sum of new listings from January to current month.

<sup>5</sup> The year-to-date months of inventory figure is calculated as: average active listings from January to current month / average sales from January to current month.

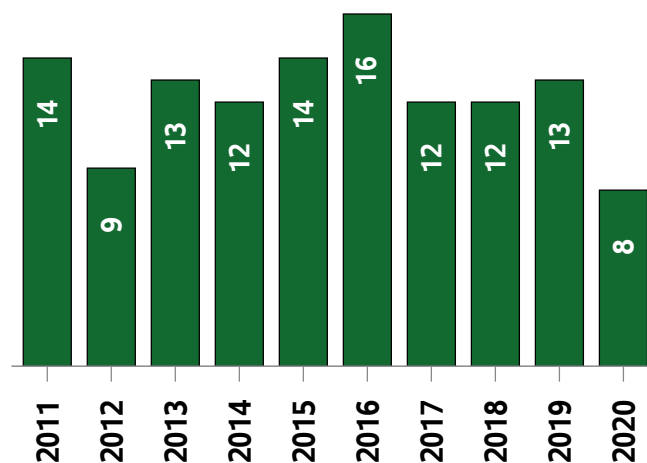
<sup>6</sup> Sales to new listings ratio, months of inventory and median days on market shown as levels; all others calculated as percentage changes.

## Sparwood MLS® Residential Market Activity

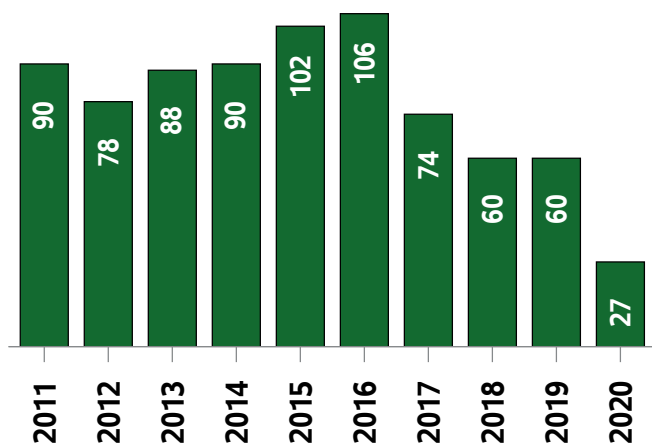
Sales Activity (October only)



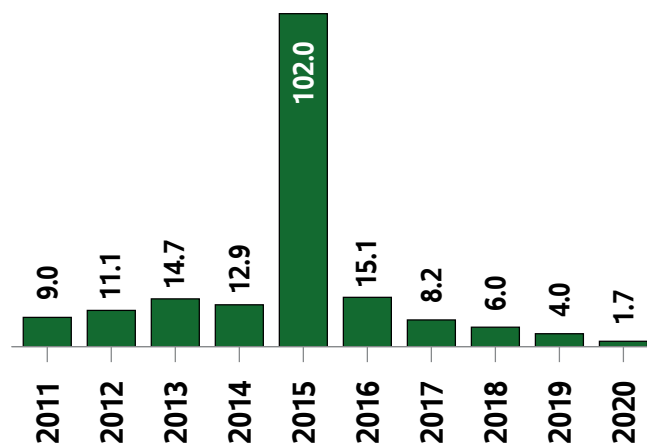
New Listings (October only)



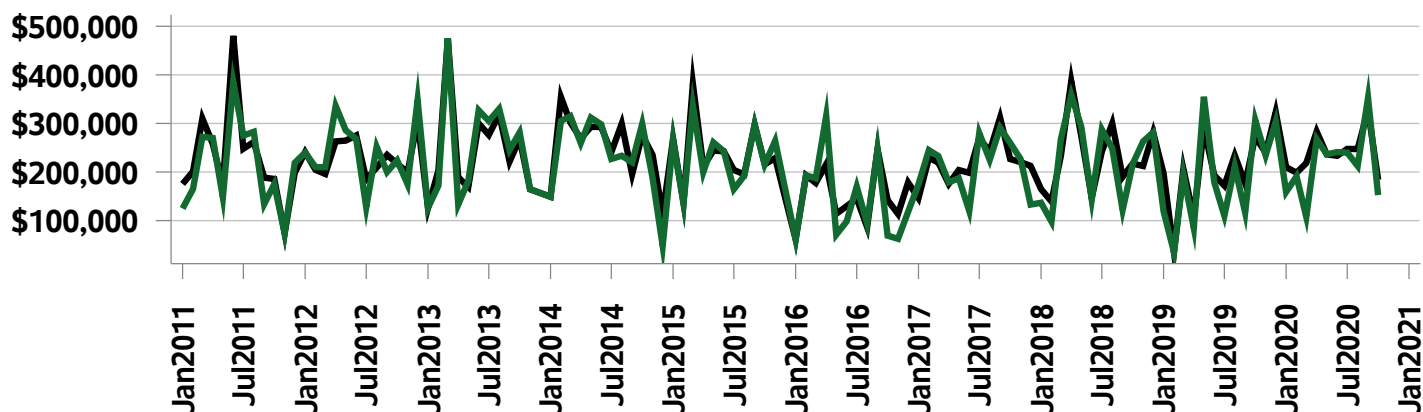
Active Listings (October only)



Months of Inventory (October only)

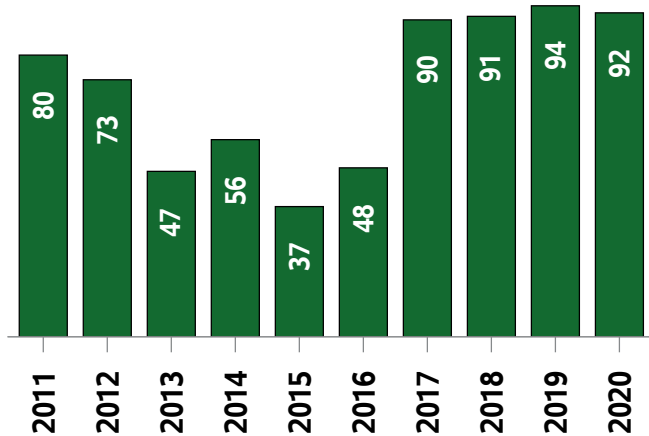


Average Price and Median Price

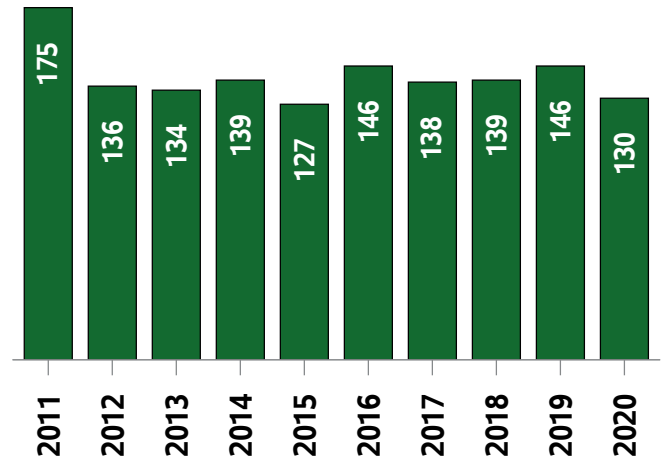


# Sparwood MLS® Residential Market Activity

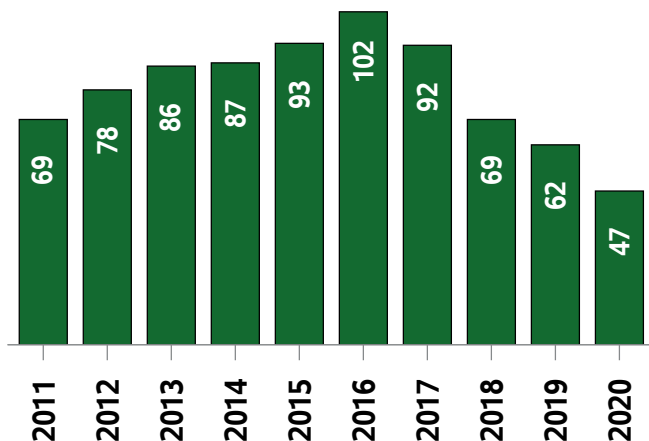
Sales Activity (October Year-to-date)



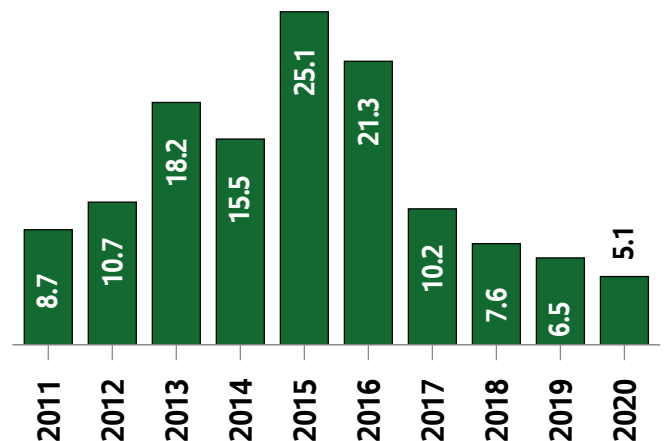
New Listings (October Year-to-date)



Active Listings <sup>1</sup> (October Year-to-date)



Months of Inventory <sup>2</sup> (October Year-to-date)



<sup>1</sup> The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year

<sup>2</sup> Average active listings January to the current month/average of sales January to the current month



# Sparwood

## MLS® Residential Market Activity

Actual	October 2020	Compared to <sup>6</sup>					
		October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Sales Activity	16	6.7	60.0	77.8	1,500.0	166.7	
Dollar Volume	\$2,942,750	-28.2	35.4	44.2	1,264.6	82.6	
New Listings	8	-38.5	-33.3	-33.3	-42.9	-38.5	0.0
Active Listings	27	-55.0	-55.0	-63.5	-73.5	-69.3	-62.5
Sales to New Listings Ratio <sup>1</sup>	200.0	115.4	83.3	75.0	7.1	46.2	
Months of Inventory <sup>2</sup>	1.7	4.0	6.0	8.2	102.0	14.7	
Average Price	\$183,922	-32.7	-15.4	-18.9	-14.7	-31.5	
Median Price	\$152,500	-50.3	-29.6	-41.3	-29.3	-45.8	
Sales to List Price Ratio	90.1	96.1	95.3	92.8	103.2	95.1	
Median Days on Market	48.0	36.0	125.5	80.0	97.0	35.0	
Year-to-date	October 2020	Compared to <sup>6</sup>					
		October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Sales Activity	92	-2.1	1.1	2.2	148.6	95.7	130.0
Dollar Volume	\$22,992,228	13.2	6.9	10.2	162.5	100.7	209.8
New Listings	130	-11.0	-6.5	-5.8	2.4	-3.0	-27.4
Active Listings <sup>3</sup>	47	-23.1	-31.7	-48.6	-49.0	-44.8	-25.9
Sales to New Listings Ratio <sup>4</sup>	70.8	64.4	65.5	65.2	29.1	35.1	22.3
Months of Inventory <sup>5</sup>	5.1	6.5	7.6	10.2	25.1	18.2	16.0
Average Price	\$249,916	15.7	5.7	7.8	5.6	2.5	34.7
Median Price	\$235,000	23.0	4.4	-4.9	-2.1	-12.3	26.7
Sales to List Price Ratio	94.9	94.9	95.2	95.1	94.4	95.2	93.2
Median Days on Market	56.5	56.5	102.0	94.0	104.0	57.0	42.0

<sup>1</sup> Sales / new listings \* 100; Compared to levels from previous periods.

<sup>2</sup> Active listings at month end / monthly sales; Compared to levels from previous periods.

<sup>3</sup> The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year.

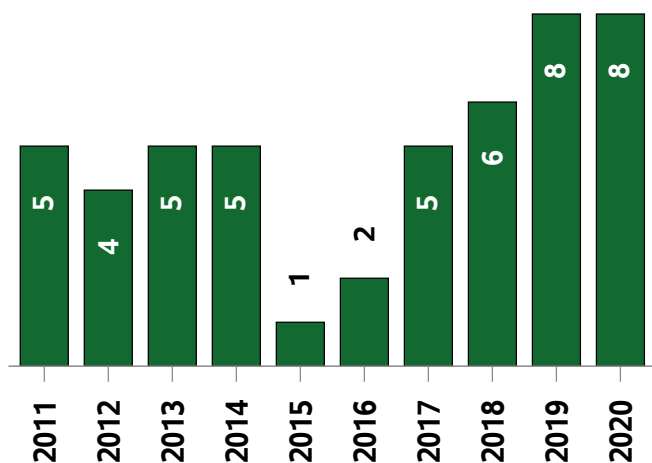
<sup>4</sup> Sum of sales from January to current month / sum of new listings from January to current month.

<sup>5</sup> The year-to-date months of inventory figure is calculated as: average active listings from January to current month / average sales from January to current month.

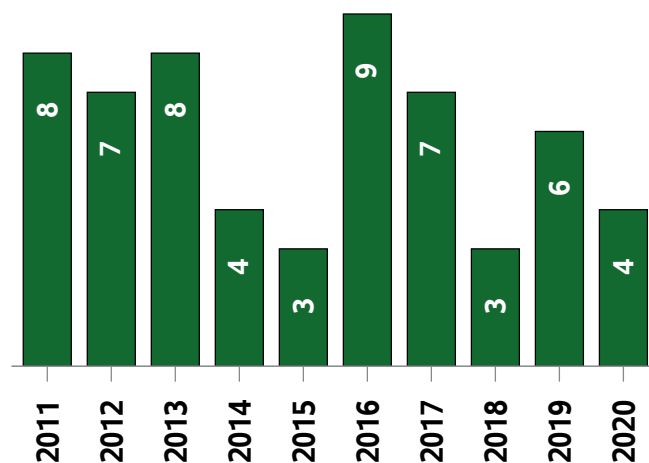
<sup>6</sup> Sales to new listings ratio, months of inventory and median days on market shown as levels; all others calculated as percentage changes.

## Sparwood MLS® Single Family Market Activity

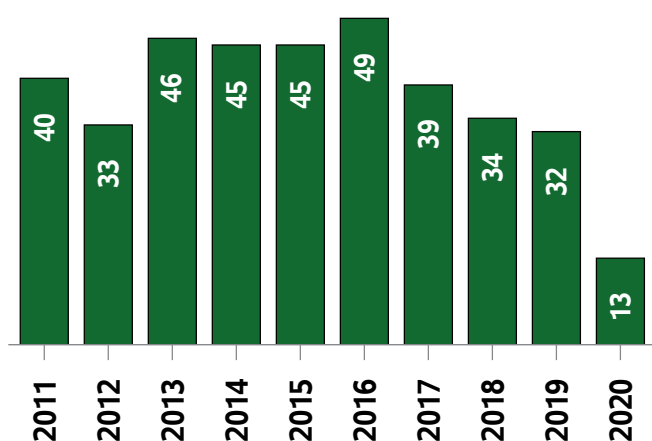
Sales Activity (October only)



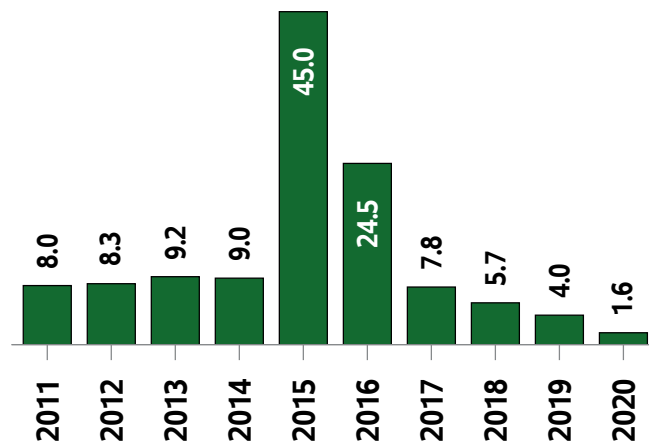
New Listings (October only)



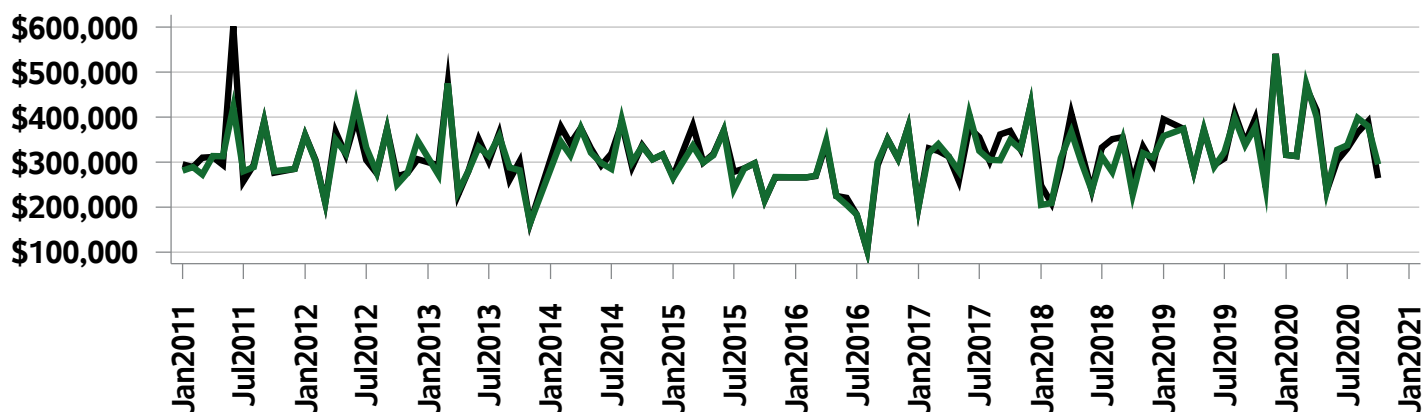
Active Listings (October only)



Months of Inventory (October only)

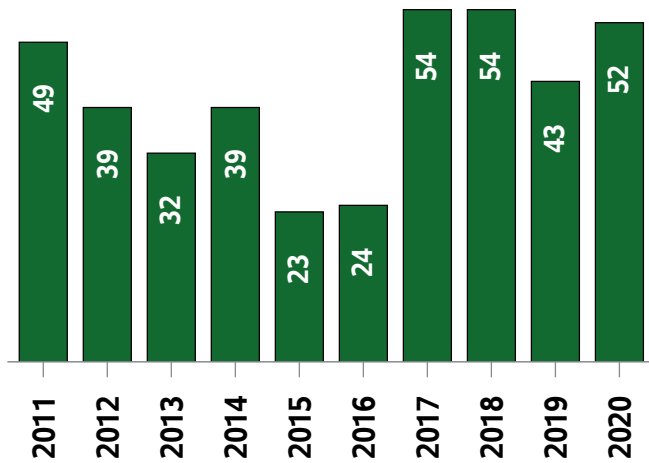


Average Price and Median Price

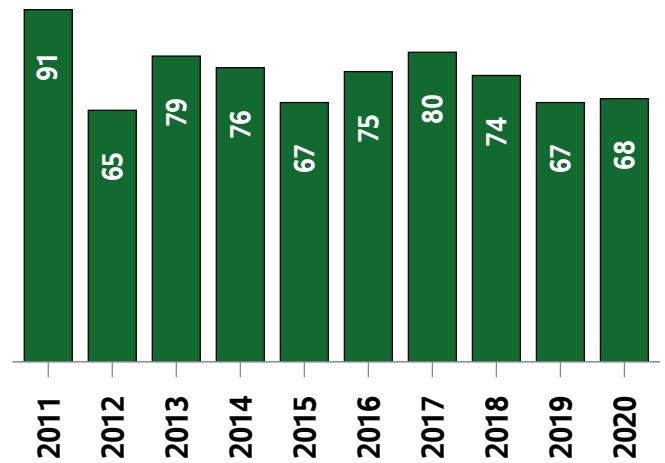


## Sparwood MLS® Single Family Market Activity

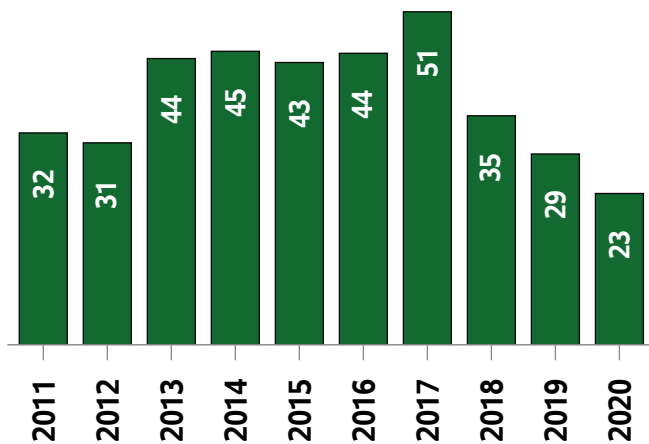
Sales Activity (October Year-to-date)



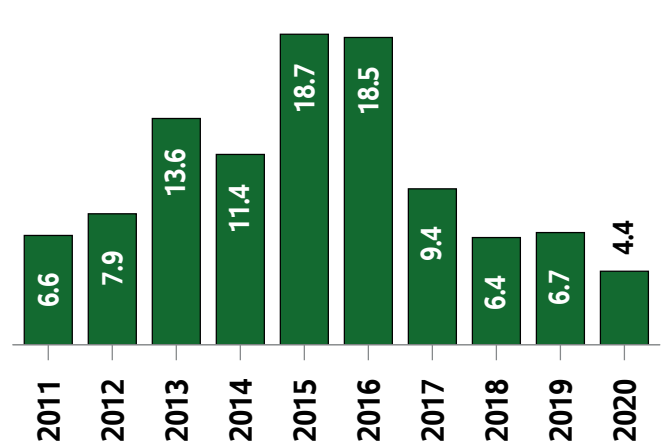
New Listings (October Year-to-date)



Active Listings <sup>1</sup> (October Year-to-date)



Months of Inventory <sup>2</sup> (October Year-to-date)



<sup>1</sup> The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year

<sup>2</sup> Average active listings January to the current month/average of sales January to the current month

# Sparwood

## MLS® Single Family Market Activity

Actual	October 2020	Compared to <sup>6</sup>					
		October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Sales Activity	8	0.0	33.3	60.0	700.0	60.0	
Dollar Volume	\$2,116,500	-33.4	37.3	14.7	881.5	40.3	
New Listings	4	-33.3	33.3	-42.9	33.3	-50.0	-20.0
Active Listings	13	-59.4	-61.8	-66.7	-71.1	-71.7	-71.7
Sales to New Listings Ratio <sup>1</sup>	200.0	133.3	200.0	71.4	33.3	62.5	
Months of Inventory <sup>2</sup>	1.6	4.0	5.7	7.8	45.0	9.2	
Average Price	\$264,563	-33.4	3.0	-28.3	22.7	-12.3	
Median Price	\$295,000	-22.0	29.6	-15.4	36.8	4.6	
Sales to List Price Ratio	86.4	96.6	95.2	97.1	103.2	96.2	
Median Days on Market	35.0	35.0	94.0	158.0	97.0	35.0	
Year-to-date	October 2020	Compared to <sup>6</sup>					
		October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Sales Activity	52	20.9	-3.7	-3.7	126.1	62.5	160.0
Dollar Volume	\$18,052,124	17.7	3.8	1.0	155.8	86.1	237.2
New Listings	68	1.5	-8.1	-15.0	1.5	-13.9	-31.3
Active Listings <sup>3</sup>	23	-20.7	-33.9	-54.5	-46.4	-47.1	-30.9
Sales to New Listings Ratio <sup>4</sup>	76.5	64.2	73.0	67.5	34.3	40.5	20.2
Months of Inventory <sup>5</sup>	4.4	6.7	6.4	9.4	18.7	13.6	16.7
Average Price	\$347,156	-2.7	7.8	4.9	13.2	14.5	29.7
Median Price	\$349,250	-0.2	12.8	10.7	14.5	13.9	32.0
Sales to List Price Ratio	95.7	96.9	96.4	96.5	95.6	96.3	96.0
Median Days on Market	35.0	56.0	105.0	107.0	97.0	64.5	41.0

<sup>1</sup> Sales / new listings \* 100; Compared to levels from previous periods.

<sup>2</sup> Active listings at month end / monthly sales; Compared to levels from previous periods.

<sup>3</sup> The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year.

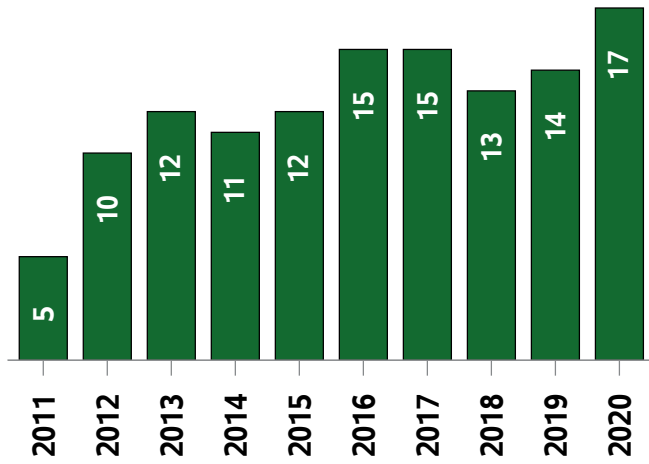
<sup>4</sup> Sum of sales from January to current month / sum of new listings from January to current month.

<sup>5</sup> The year-to-date months of inventory figure is calculated as: average active listings from January to current month / average sales from January to current month.

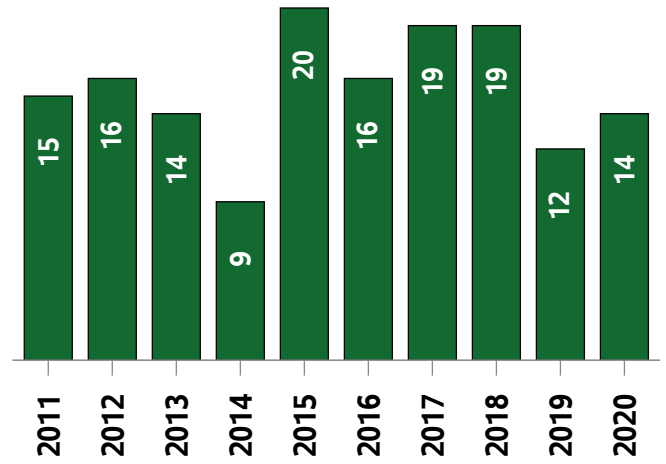
<sup>6</sup> Sales to new listings ratio, months of inventory and median days on market shown as levels; all others calculated as percentage changes.

## Creston MLS® Residential Market Activity

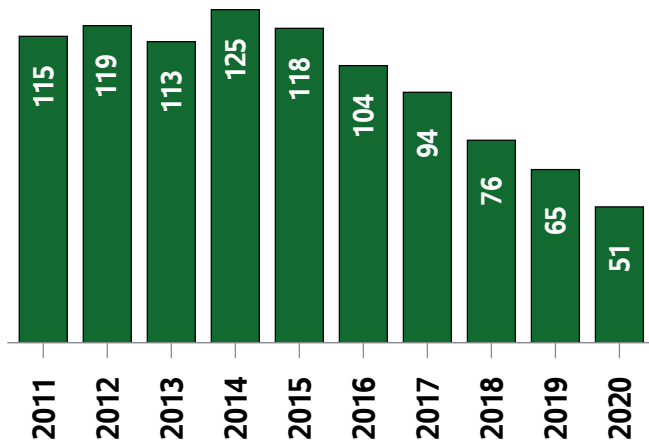
Sales Activity (October only)



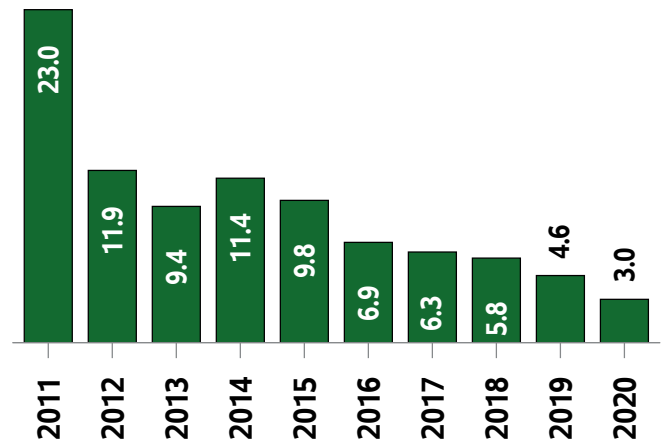
New Listings (October only)



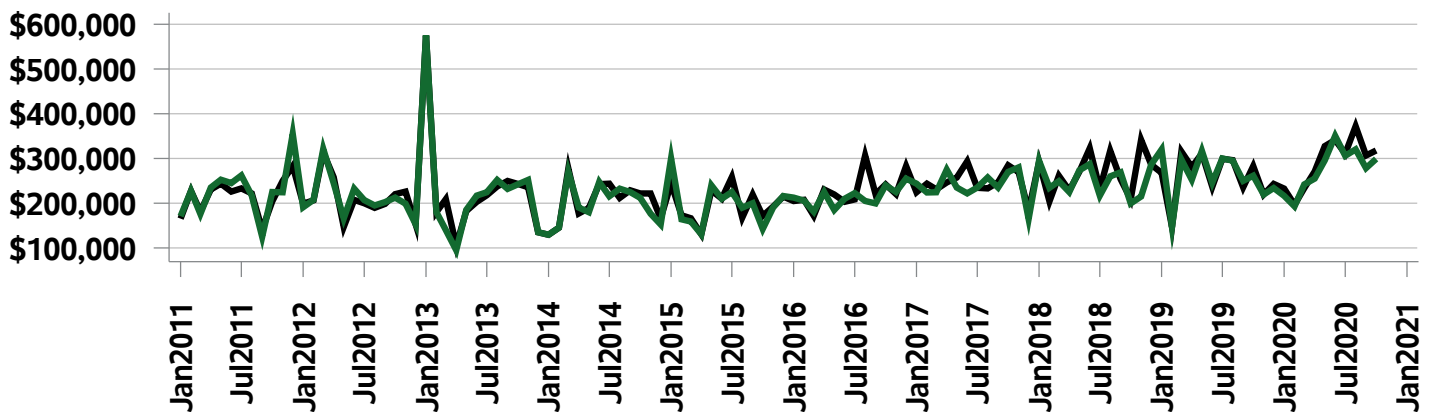
Active Listings (October only)



Months of Inventory (October only)



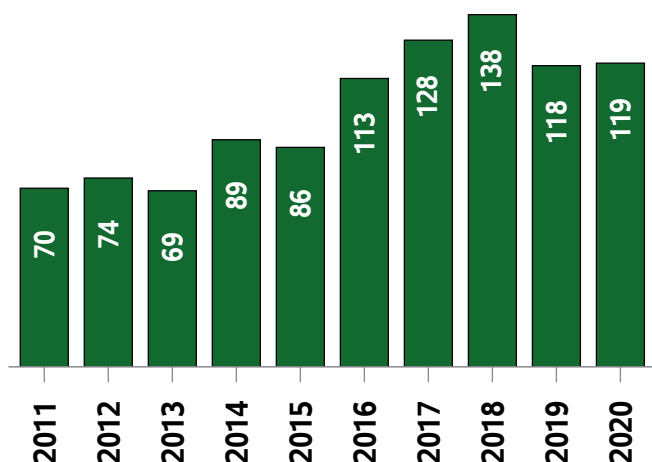
Average Price and Median Price



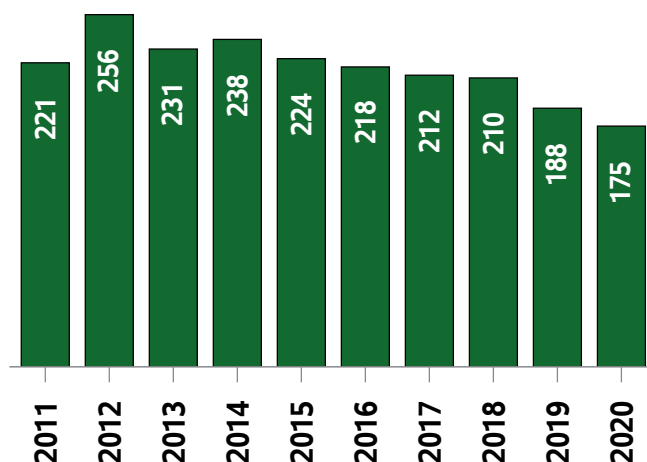
# Creston

## MLS® Residential Market Activity

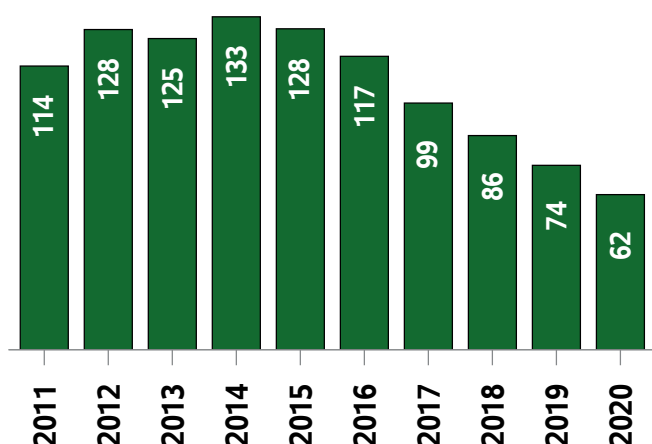
Sales Activity (October Year-to-date)



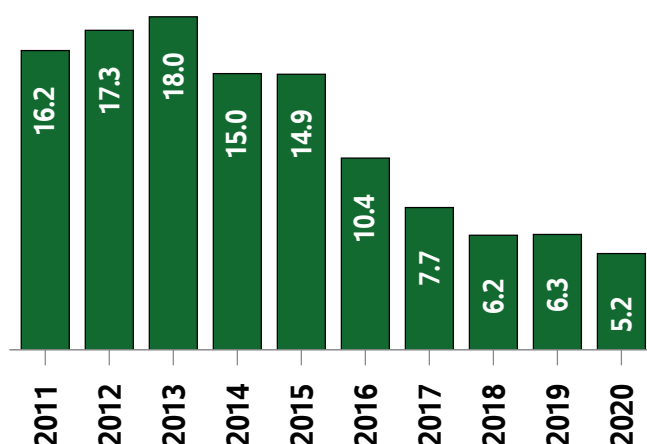
New Listings (October Year-to-date)



Active Listings <sup>1</sup> (October Year-to-date)



Months of Inventory <sup>2</sup> (October Year-to-date)



<sup>1</sup> The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year

<sup>2</sup> Average active listings January to the current month/average of sales January to the current month

# Creston

## MLS® Residential Market Activity

Actual	October 2020	Compared to <sup>6</sup>					
		October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Sales Activity	17	21.4	30.8	13.3	41.7	41.7	325.0
Dollar Volume	\$5,402,900	36.4	98.9	26.5	162.2	85.1	509.8
New Listings	14	16.7	-26.3	-26.3	-30.0	0.0	0.0
Active Listings	51	-21.5	-32.9	-45.7	-56.8	-54.9	-44.0
Sales to New Listings Ratio <sup>1</sup>	121.4	116.7	68.4	78.9	60.0	85.7	28.6
Months of Inventory <sup>2</sup>	3.0	4.6	5.8	6.3	9.8	9.4	22.8
Average Price	\$317,818	12.3	52.1	11.6	85.1	30.7	43.5
Median Price	\$299,000	14.3	49.9	10.7	109.8	23.6	38.7
Sales to List Price Ratio	96.2	91.4	91.5	94.2	92.4	93.2	95.5
Median Days on Market	54.0	96.0	84.0	154.0	70.0	118.5	135.5
Year-to-date	October 2020	Compared to <sup>6</sup>					
		October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Sales Activity	119	0.8	-13.8	-7.0	38.4	72.5	133.3
Dollar Volume	\$36,406,100	8.0	2.3	13.2	103.9	137.9	253.2
New Listings	175	-6.9	-16.7	-17.5	-21.9	-24.2	-25.5
Active Listings <sup>3</sup>	62	-15.9	-27.5	-37.1	-51.6	-50.1	-30.9
Sales to New Listings Ratio <sup>4</sup>	68.0	62.8	65.7	60.4	38.4	29.9	21.7
Months of Inventory <sup>5</sup>	5.2	6.3	6.2	7.7	14.9	18.0	17.6
Average Price	\$305,934	7.1	18.6	21.8	47.3	38.0	51.4
Median Price	\$297,000	8.4	18.3	17.6	48.5	36.9	51.5
Sales to List Price Ratio	95.8	95.2	94.8	94.8	93.0	93.4	93.6
Median Days on Market	69.0	58.5	60.0	76.0	93.0	98.0	40.0

<sup>1</sup> Sales / new listings \* 100; Compared to levels from previous periods.

<sup>2</sup> Active listings at month end / monthly sales; Compared to levels from previous periods.

<sup>3</sup> The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year.

<sup>4</sup> Sum of sales from January to current month / sum of new listings from January to current month.

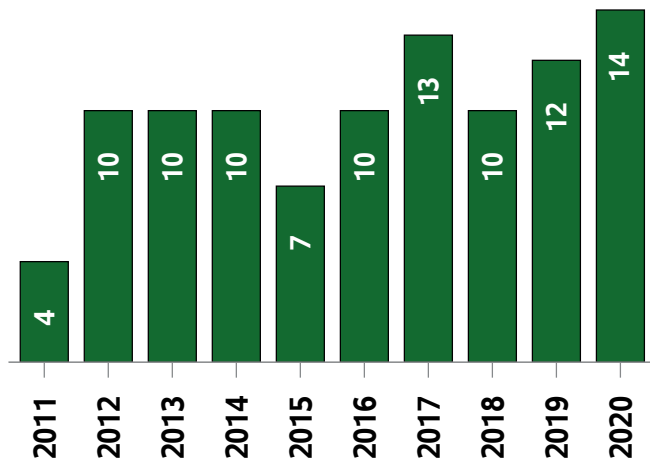
<sup>5</sup> The year-to-date months of inventory figure is calculated as: average active listings from January to current month / average sales from January to current month.

<sup>6</sup> Sales to new listings ratio, months of inventory and median days on market shown as levels; all others calculated as percentage changes.

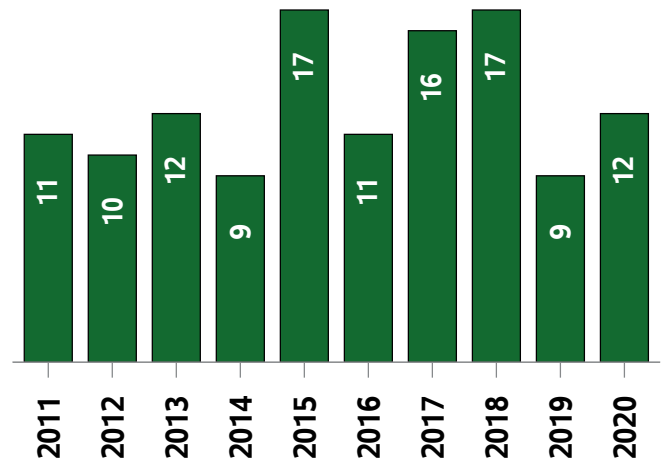


## Creston MLS® Single Family Market Activity

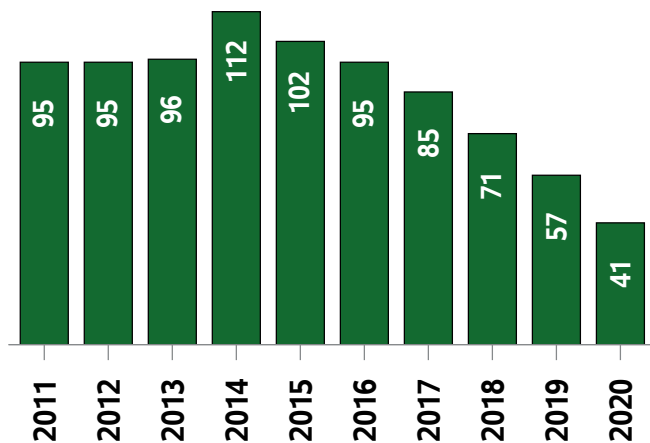
Sales Activity (October only)



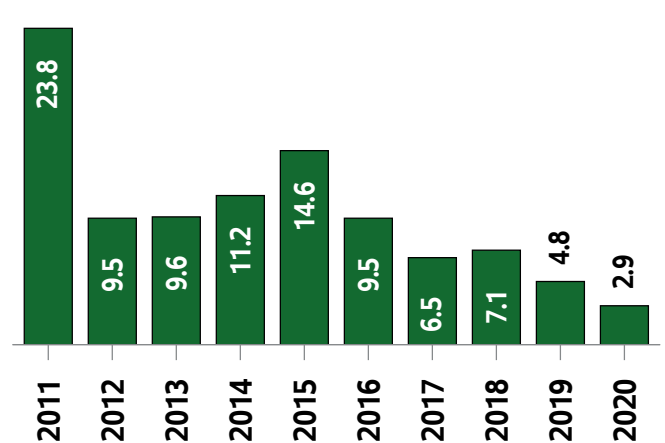
New Listings (October only)



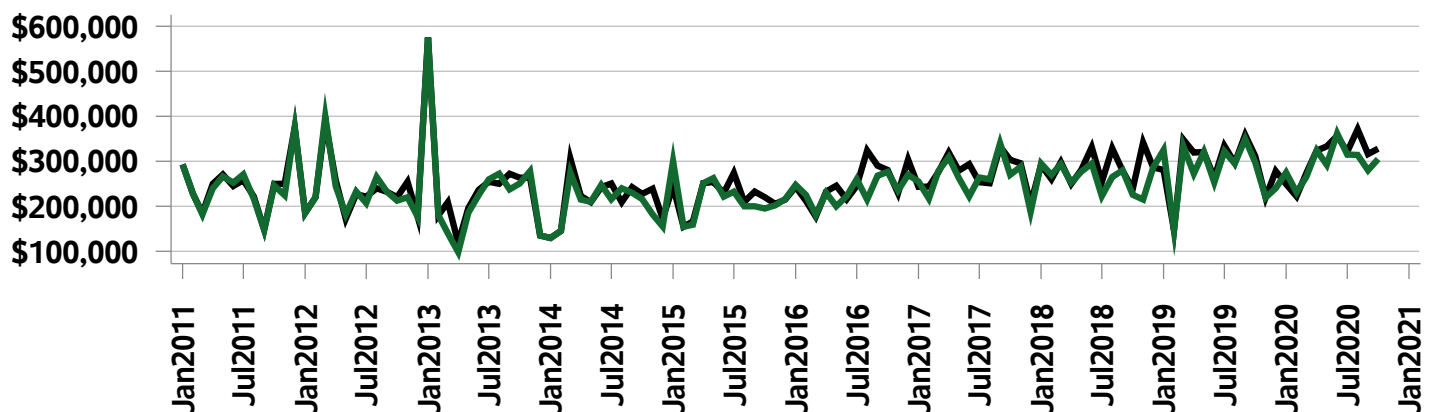
Active Listings (October only)



Months of Inventory (October only)

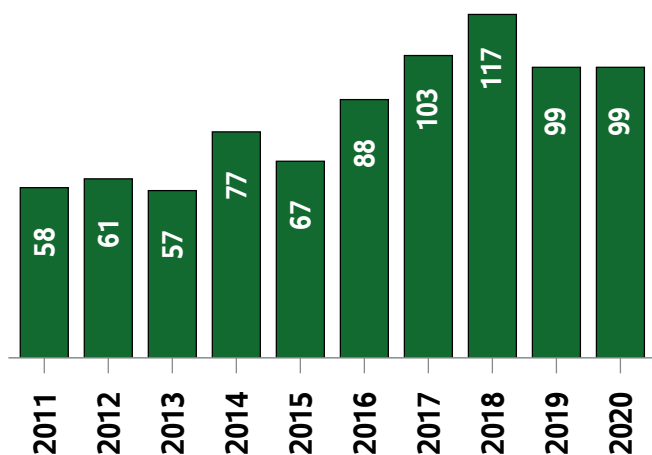


Average Price and Median Price

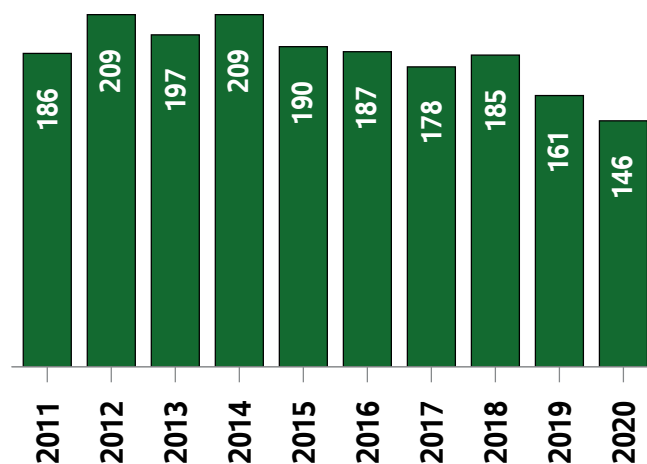


## Creston MLS® Single Family Market Activity

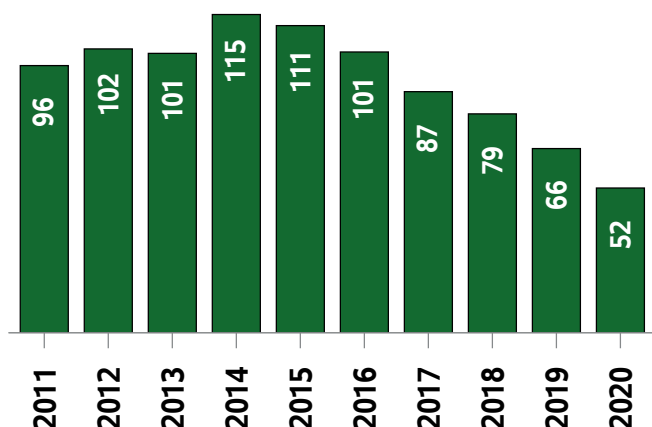
Sales Activity (October Year-to-date)



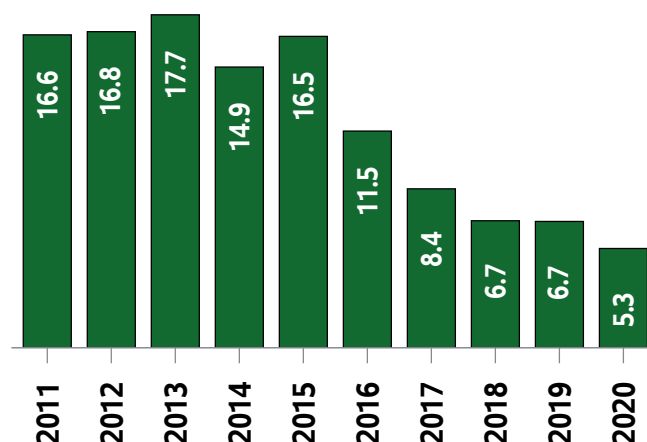
New Listings (October Year-to-date)



Active Listings <sup>1</sup> (October Year-to-date)



Months of Inventory <sup>2</sup> (October Year-to-date)



<sup>1</sup> The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year

<sup>2</sup> Average active listings January to the current month/average of sales January to the current month

# Creston

## MLS® Single Family Market Activity

Actual	October 2020	Compared to <sup>6</sup>					
		October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Sales Activity	14	16.7	40.0	7.7	100.0	40.0	366.7
Dollar Volume	\$4,591,900	22.9	92.7	16.5	197.8	74.3	565.5
New Listings	12	33.3	-29.4	-25.0	-29.4	0.0	9.1
Active Listings	41	-28.1	-42.3	-51.8	-59.8	-57.3	-46.8
Sales to New Listings Ratio <sup>1</sup>	116.7	133.3	58.8	81.3	41.2	83.3	27.3
Months of Inventory <sup>2</sup>	2.9	4.8	7.1	6.5	14.6	9.6	25.7
Average Price	\$327,993	5.3	37.7	8.2	48.9	24.5	42.6
Median Price	\$304,950	2.5	35.2	12.9	56.4	21.7	29.8
Sales to List Price Ratio	95.9	96.2	91.5	94.1	91.7	94.3	97.5
Median Days on Market	54.5	93.0	70.0	159.0	92.0	118.5	124.0
Year-to-date	October 2020	Compared to <sup>6</sup>					
		October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Sales Activity	99	0.0	-15.4	-3.9	47.8	73.7	147.5
Dollar Volume	\$32,007,600	2.6	-2.8	12.2	104.2	131.7	256.8
New Listings	146	-9.3	-21.1	-18.0	-23.2	-25.9	-25.5
Active Listings <sup>3</sup>	52	-21.4	-33.8	-39.9	-52.8	-48.2	-32.0
Sales to New Listings Ratio <sup>4</sup>	67.8	61.5	63.2	57.9	35.3	28.9	20.4
Months of Inventory <sup>5</sup>	5.3	6.7	6.7	8.4	16.5	17.7	19.2
Average Price	\$323,309	2.6	14.9	16.7	38.2	33.4	44.2
Median Price	\$310,000	2.5	14.8	17.9	44.2	37.8	47.1
Sales to List Price Ratio	95.9	95.9	94.7	95.2	93.5	93.8	94.0
Median Days on Market	67.0	57.0	61.0	79.0	116.0	98.0	37.0

<sup>1</sup> Sales / new listings \* 100; Compared to levels from previous periods.

<sup>2</sup> Active listings at month end / monthly sales; Compared to levels from previous periods.

<sup>3</sup> The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year.

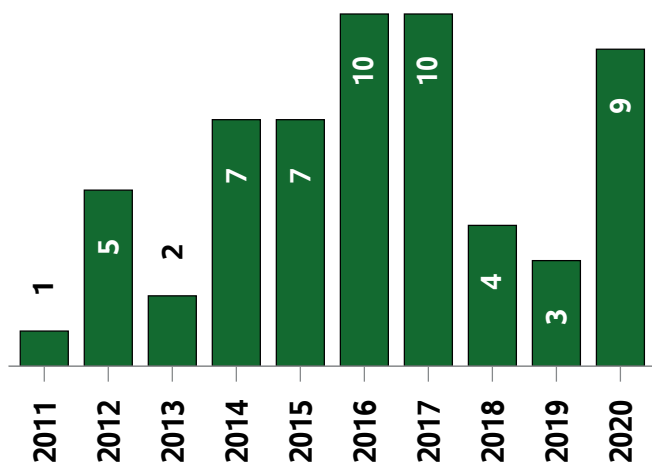
<sup>4</sup> Sum of sales from January to current month / sum of new listings from January to current month.

<sup>5</sup> The year-to-date months of inventory figure is calculated as: average active listings from January to current month / average sales from January to current month.

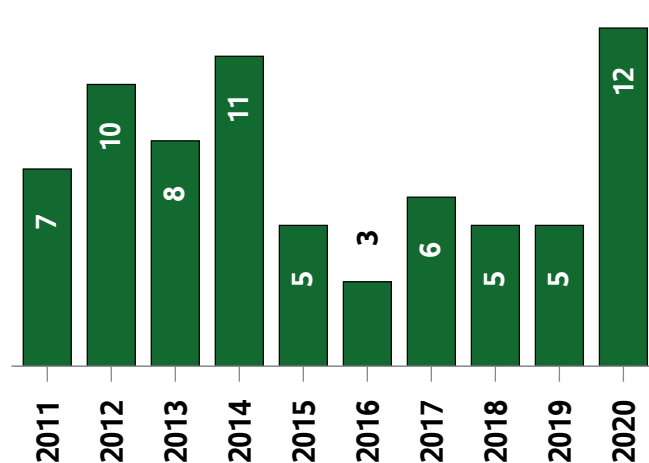
<sup>6</sup> Sales to new listings ratio, months of inventory and median days on market shown as levels; all others calculated as percentage changes.

## Golden MLS® Residential Market Activity

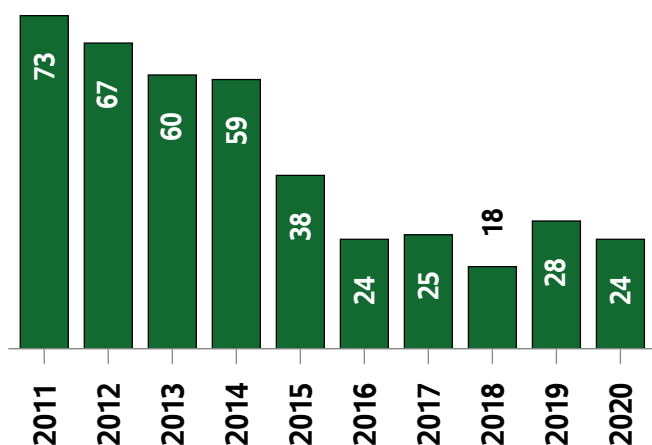
Sales Activity (October only)



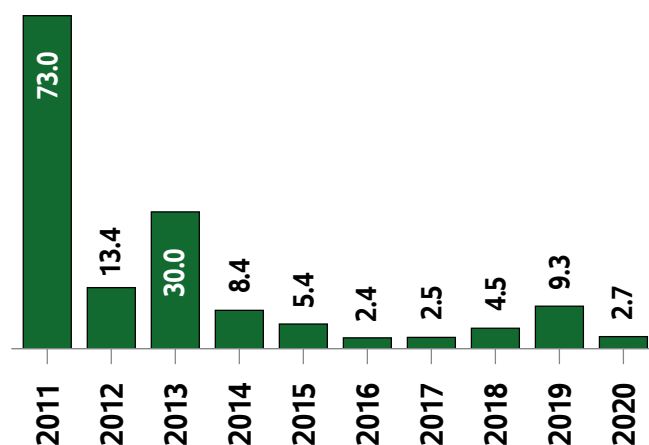
New Listings (October only)



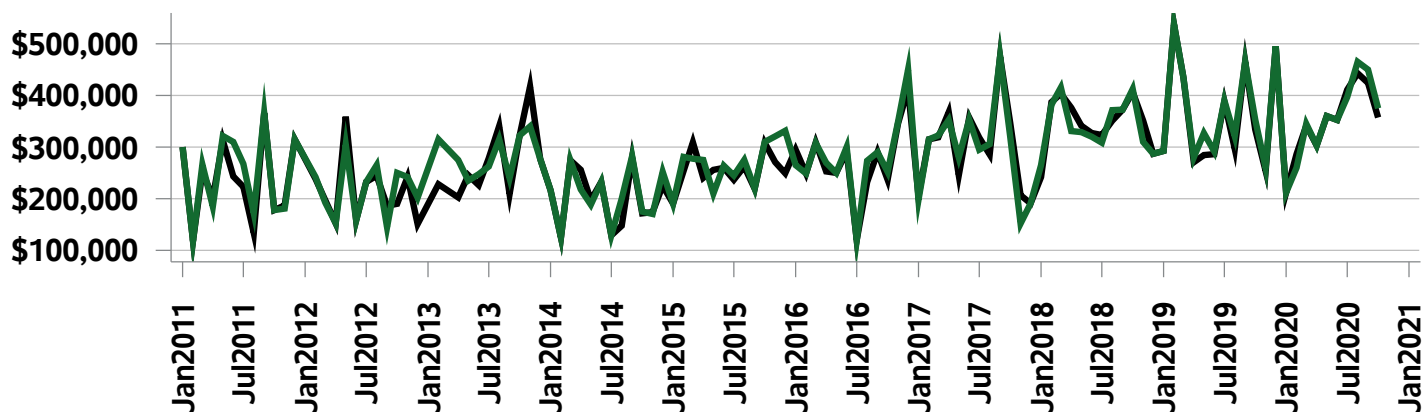
Active Listings (October only)



Months of Inventory (October only)

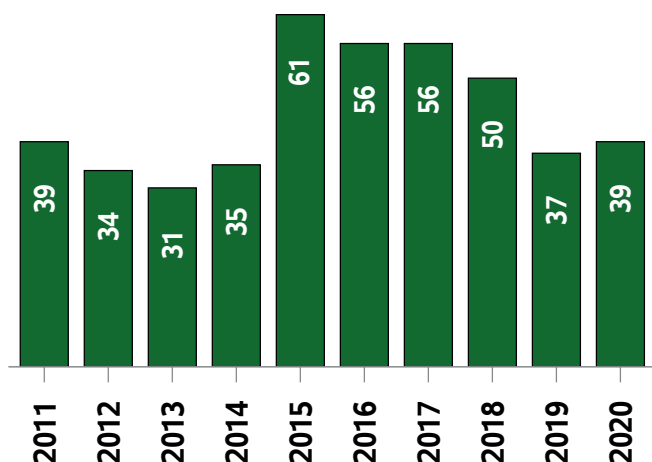


Average Price and Median Price

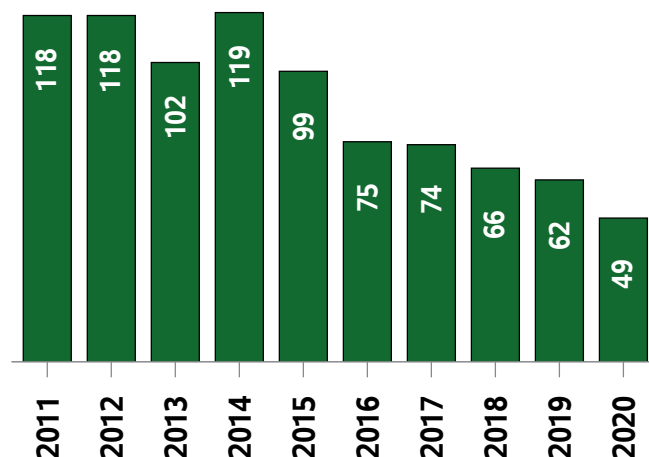


## Golden MLS® Residential Market Activity

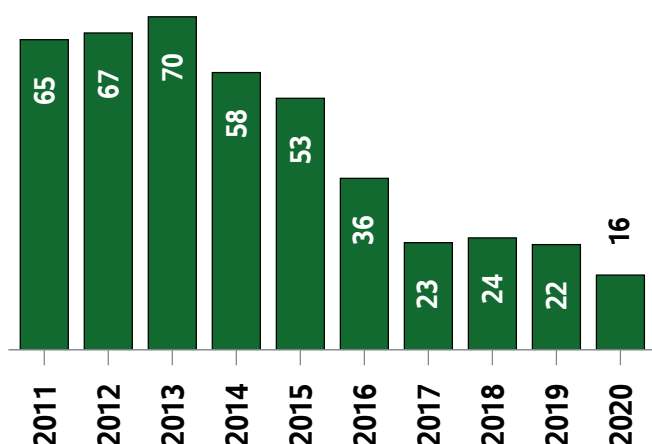
Sales Activity (October Year-to-date)



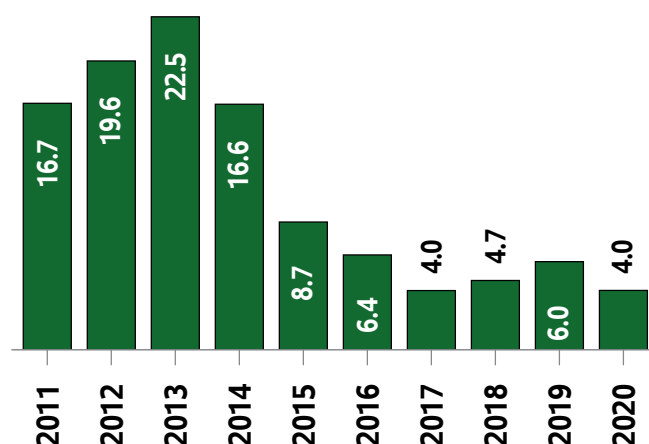
New Listings (October Year-to-date)



Active Listings <sup>1</sup> (October Year-to-date)



Months of Inventory <sup>2</sup> (October Year-to-date)



<sup>1</sup> The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year

<sup>2</sup> Average active listings January to the current month/average of sales January to the current month

# Golden MLS® Residential Market Activity

Actual	October 2020	Compared to <sup>6</sup>					
		October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Sales Activity	9	200.0	125.0	-10.0	28.6	350.0	350.0
Dollar Volume	\$3,214,900	220.8	97.7	-7.5	49.1	398.4	578.2
New Listings	12	140.0	140.0	100.0	140.0	50.0	140.0
Active Listings	24	-14.3	33.3	-4.0	-36.8	-60.0	-57.9
Sales to New Listings Ratio <sup>1</sup>	75.0	60.0	80.0	166.7	140.0	25.0	40.0
Months of Inventory <sup>2</sup>	2.7	9.3	4.5	2.5	5.4	30.0	28.5
Average Price	\$357,211	6.9	-12.1	2.8	16.0	10.8	50.7
Median Price	\$375,000	6.2	-9.1	16.9	21.0	16.3	58.2
Sales to List Price Ratio	96.4	97.0	97.9	97.4	96.1	97.1	93.2
Median Days on Market	23.0	28.0	29.0	43.0	129.0	161.0	33.0
Year-to-date	October 2020	Compared to <sup>6</sup>					
		October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Sales Activity	39	5.4	-22.0	-30.4	-36.1	25.8	25.8
Dollar Volume	\$13,694,500	8.2	-23.2	-19.9	-12.9	71.1	70.1
New Listings	49	-21.0	-25.8	-33.8	-50.5	-52.0	-64.0
Active Listings <sup>3</sup>	16	-29.0	-33.2	-30.2	-70.3	-77.5	-67.8
Sales to New Listings Ratio <sup>4</sup>	79.6	59.7	75.8	75.7	61.6	30.4	22.8
Months of Inventory <sup>5</sup>	4.0	6.0	4.7	4.0	8.7	22.5	15.7
Average Price	\$351,141	2.7	-1.6	14.9	36.2	36.0	35.2
Median Price	\$360,000	-1.4	-1.1	13.9	33.3	30.9	22.5
Sales to List Price Ratio	96.2	95.5	95.9	95.7	95.5	94.2	93.0
Median Days on Market	39.0	54.0	33.0	40.5	101.0	99.0	26.0

<sup>1</sup> Sales / new listings \* 100; Compared to levels from previous periods.

<sup>2</sup> Active listings at month end / monthly sales; Compared to levels from previous periods.

<sup>3</sup> The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year.

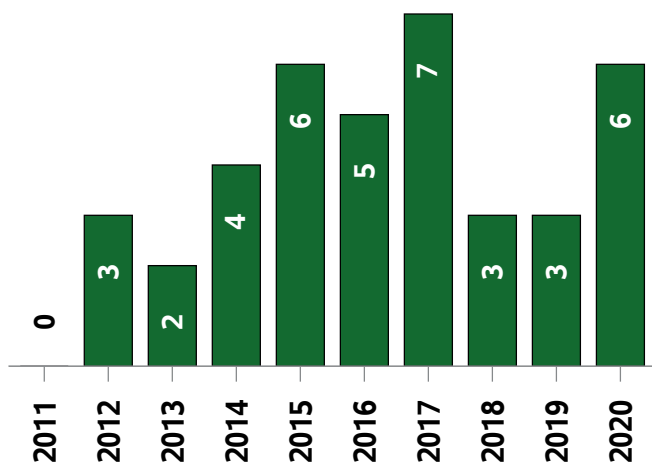
<sup>4</sup> Sum of sales from January to current month / sum of new listings from January to current month.

<sup>5</sup> The year-to-date months of inventory figure is calculated as: average active listings from January to current month / average sales from January to current month.

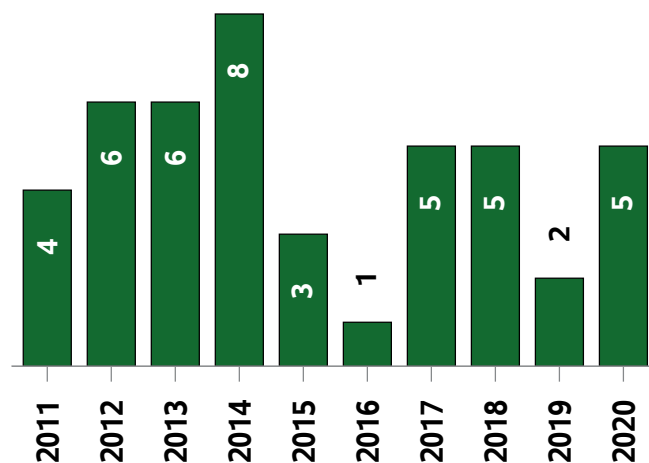
<sup>6</sup> Sales to new listings ratio, months of inventory and median days on market shown as levels; all others calculated as percentage changes.

## Golden MLS® Single Family Market Activity

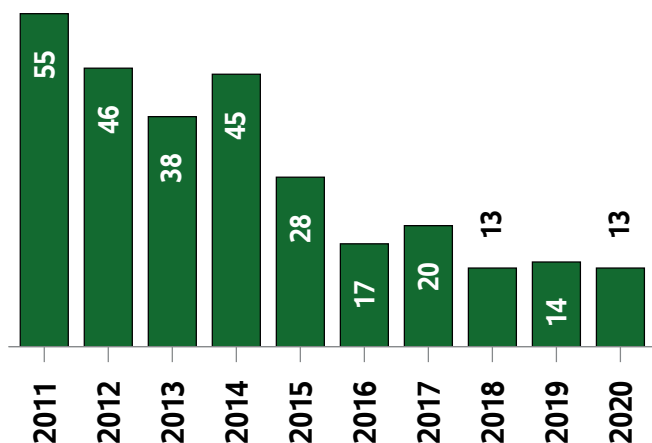
Sales Activity (October only)



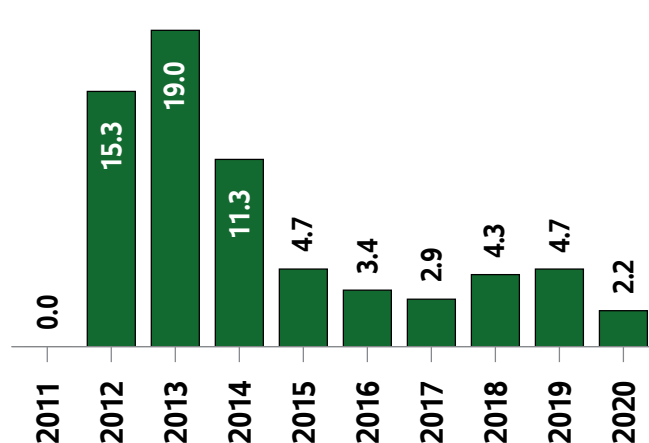
New Listings (October only)



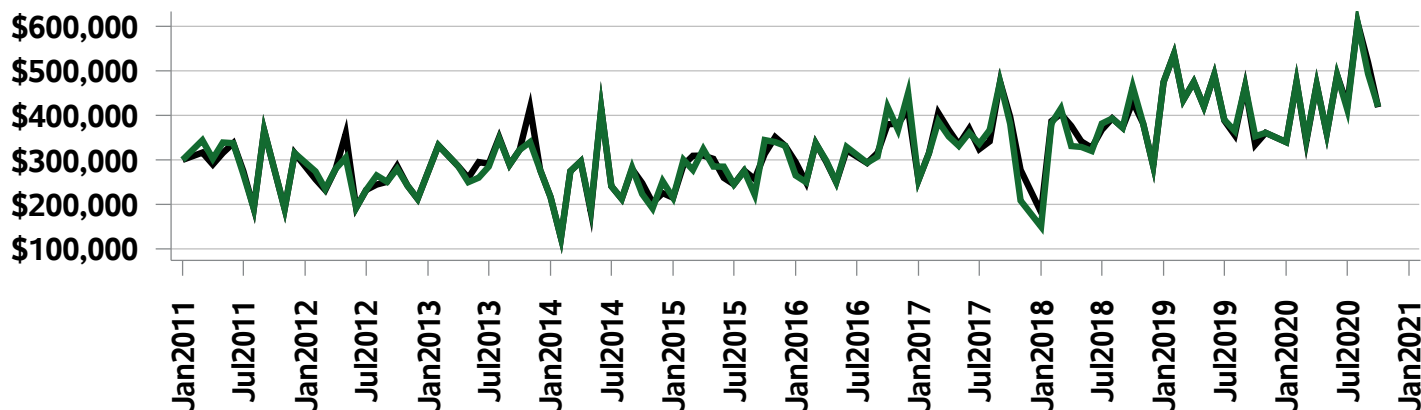
Active Listings (October only)



Months of Inventory (October only)



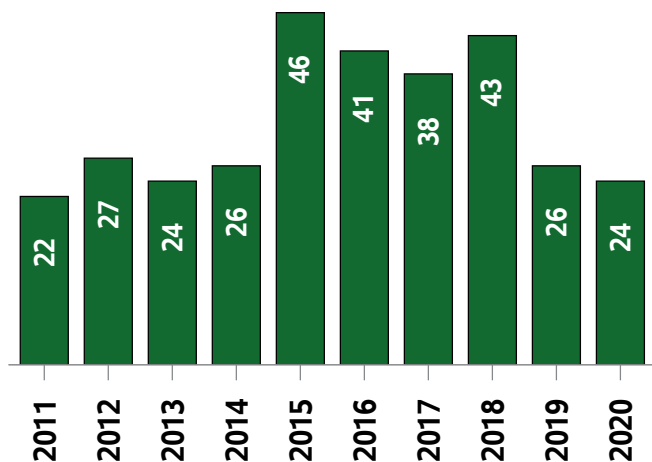
Average Price and Median Price



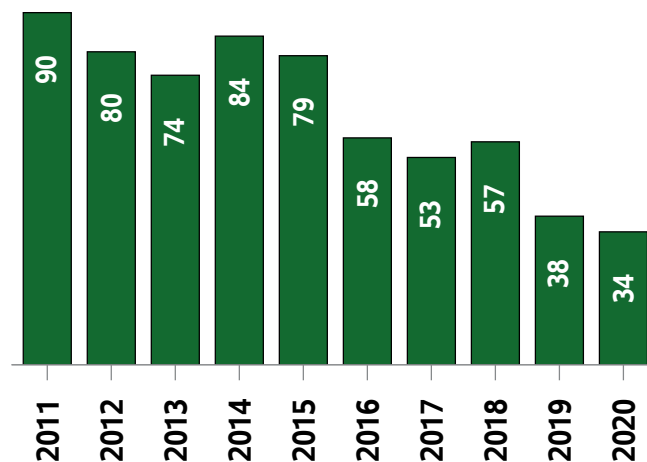


## Golden MLS® Single Family Market Activity

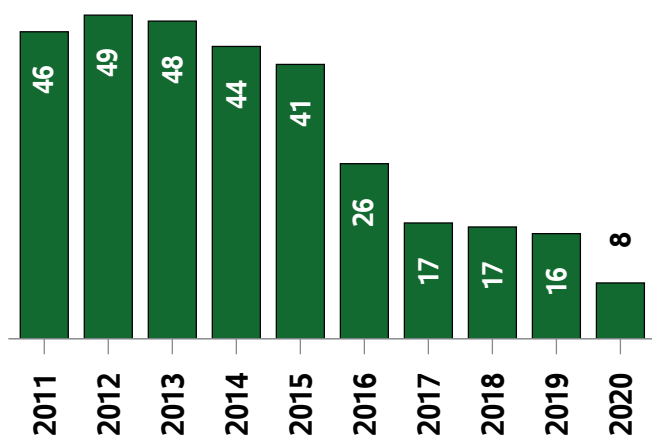
Sales Activity (October Year-to-date)



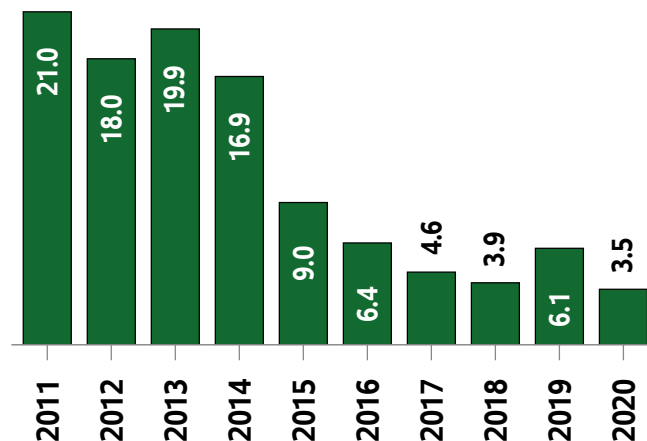
New Listings (October Year-to-date)



Active Listings <sup>1</sup> (October Year-to-date)



Months of Inventory <sup>2</sup> (October Year-to-date)



<sup>1</sup> The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year

<sup>2</sup> Average active listings January to the current month/average of sales January to the current month

# Golden

## MLS® Single Family Market Activity

Actual	October 2020	Compared to <sup>6</sup>					
		October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Sales Activity	6	100.0	100.0	-14.3	0.0	200.0	200.0
Dollar Volume	\$2,510,000	150.5	94.4	-9.6	33.5	289.1	429.5
New Listings	5	150.0	0.0	0.0	66.7	-16.7	25.0
Active Listings	13	-7.1	0.0	-35.0	-53.6	-65.8	-63.9
Sales to New Listings Ratio <sup>1</sup>	120.0	150.0	60.0	140.0	200.0	33.3	50.0
Months of Inventory <sup>2</sup>	2.2	4.7	4.3	2.9	4.7	19.0	18.0
Average Price	\$418,333	25.2	-2.8	5.5	33.5	29.7	76.5
Median Price	\$419,500	18.8	-9.7	10.1	21.8	30.1	77.0
Sales to List Price Ratio	98.0	97.0	97.6	98.3	95.8	97.1	93.2
Median Days on Market	22.0	28.0	29.0	47.0	125.0	161.0	33.0
Year-to-date	October 2020	Compared to <sup>6</sup>					
		October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Sales Activity	24	-7.7	-44.2	-36.8	-47.8	0.0	0.0
Dollar Volume	\$10,518,500	-2.1	-33.7	-22.8	-19.5	46.5	44.3
New Listings	34	-10.5	-40.4	-35.8	-57.0	-54.1	-65.7
Active Listings <sup>3</sup>	8	-46.8	-50.0	-51.7	-79.6	-82.4	-75.8
Sales to New Listings Ratio <sup>4</sup>	70.6	68.4	75.4	71.7	58.2	32.4	24.2
Months of Inventory <sup>5</sup>	3.5	6.1	3.9	4.6	9.0	19.9	14.5
Average Price	\$438,271	6.0	18.9	22.3	54.4	46.5	44.3
Median Price	\$437,250	9.9	15.1	23.2	58.3	46.6	41.5
Sales to List Price Ratio	97.2	96.6	96.0	96.1	95.9	95.0	93.6
Median Days on Market	26.5	66.5	34.0	30.5	100.0	95.5	25.0

<sup>1</sup> Sales / new listings \* 100; Compared to levels from previous periods.

<sup>2</sup> Active listings at month end / monthly sales; Compared to levels from previous periods.

<sup>3</sup> The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year.

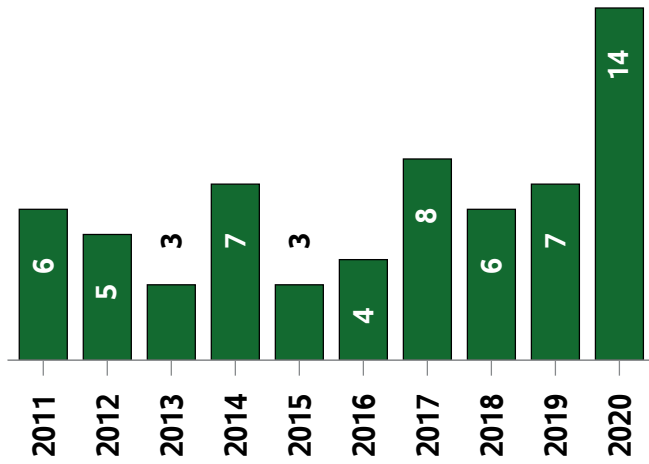
<sup>4</sup> Sum of sales from January to current month / sum of new listings from January to current month.

<sup>5</sup> The year-to-date months of inventory figure is calculated as: average active listings from January to current month / average sales from January to current month.

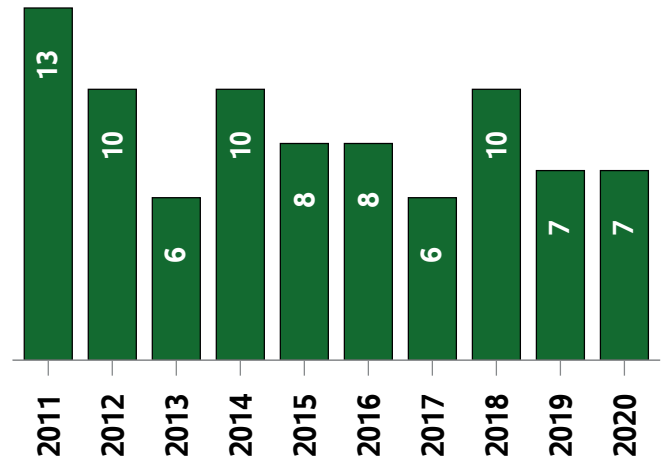
<sup>6</sup> Sales to new listings ratio, months of inventory and median days on market shown as levels; all others calculated as percentage changes.

## Elkford MLS® Residential Market Activity

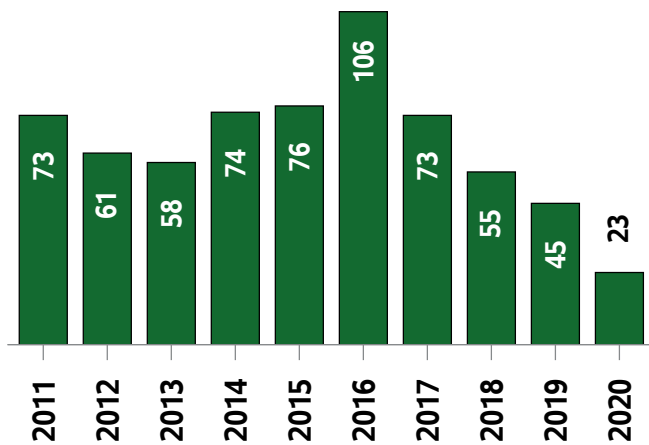
Sales Activity (October only)



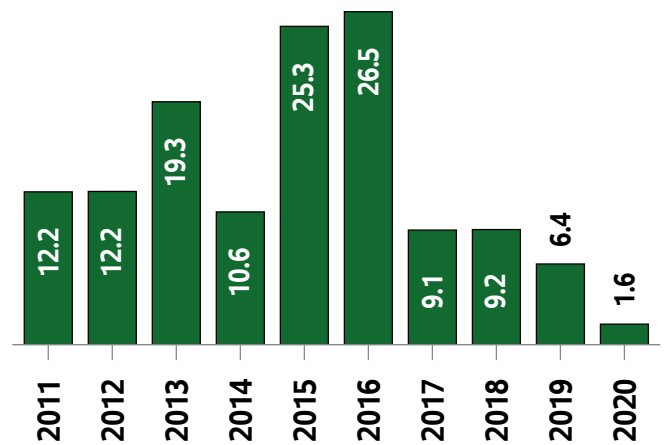
New Listings (October only)



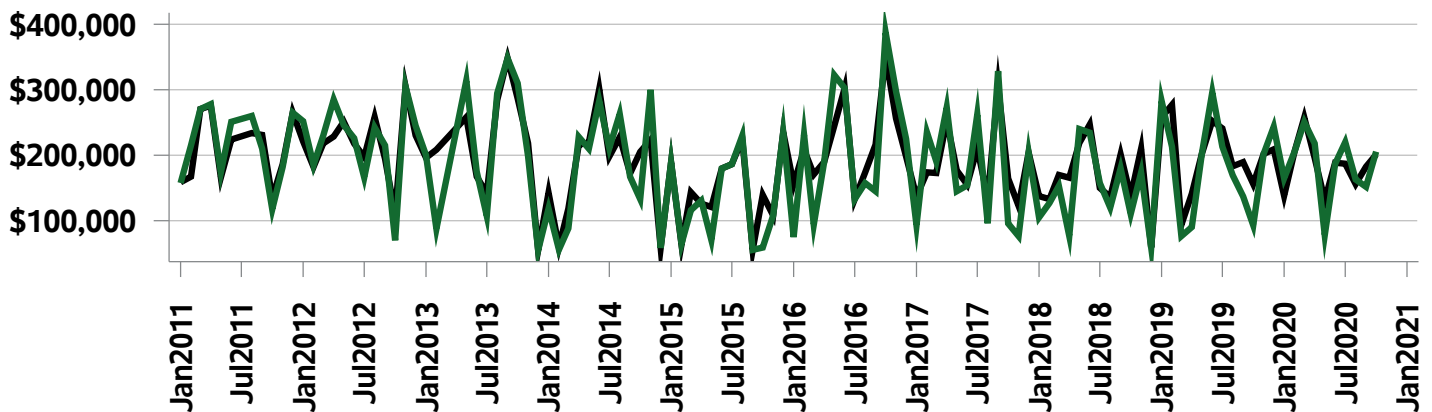
Active Listings (October only)



Months of Inventory (October only)



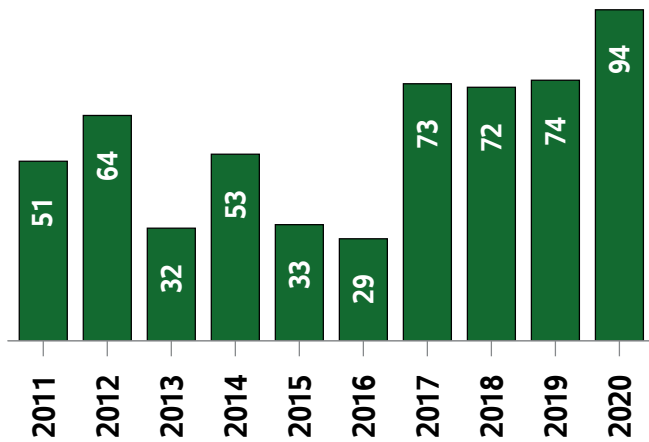
Average Price and Median Price



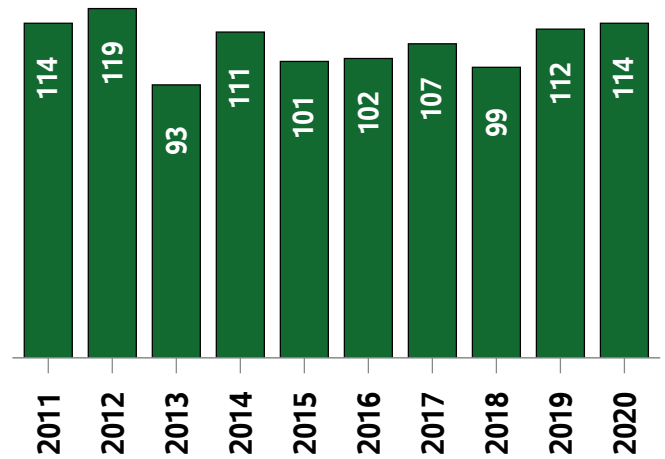
# Elkford

## MLS® Residential Market Activity

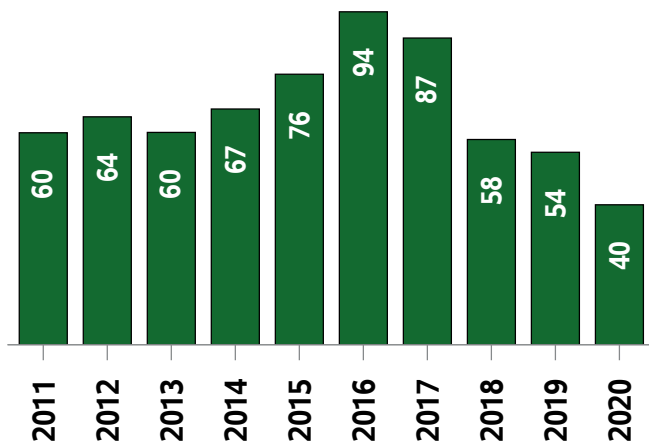
Sales Activity (October Year-to-date)



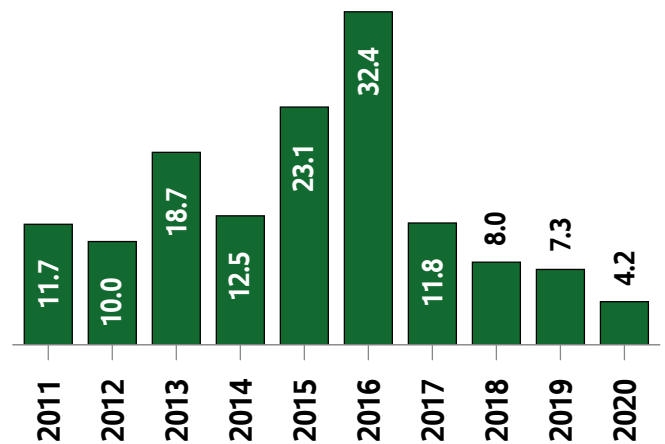
New Listings (October Year-to-date)



Active Listings <sup>1</sup> (October Year-to-date)



Months of Inventory <sup>2</sup> (October Year-to-date)



<sup>1</sup> The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year

<sup>2</sup> Average active listings January to the current month/average of sales January to the current month

# Elkford

## MLS® Residential Market Activity

Actual	October 2020	Compared to <sup>6</sup>					
		October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Sales Activity	14	100.0	133.3	75.0	366.7	366.7	366.7
Dollar Volume	\$2,814,500	157.6	241.8	113.9	573.3	227.3	542.6
New Listings	7	0.0	-30.0	16.7	-12.5	16.7	0.0
Active Listings	23	-48.9	-58.2	-68.5	-69.7	-60.3	-46.5
Sales to New Listings Ratio <sup>1</sup>	200.0	100.0	60.0	133.3	37.5	50.0	42.9
Months of Inventory <sup>2</sup>	1.6	6.4	9.2	9.1	25.3	19.3	14.3
Average Price	\$201,036	28.8	46.5	22.3	44.3	-29.9	37.7
Median Price	\$205,500	121.0	86.4	114.6	248.3	-33.7	133.5
Sales to List Price Ratio	96.5	94.0	96.2	94.0	93.4	95.1	93.1
Median Days on Market	42.5	121.0	97.5	222.5	163.0	170.0	29.0
Year-to-date	October 2020	Compared to <sup>6</sup>					
		October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Sales Activity	94	27.0	30.6	28.8	184.8	193.8	370.0
Dollar Volume	\$17,110,900	15.0	35.4	26.5	268.7	141.6	379.6
New Listings	114	1.8	15.2	6.5	12.9	22.6	32.6
Active Listings <sup>3</sup>	40	-27.3	-31.8	-54.3	-48.2	-34.1	11.0
Sales to New Listings Ratio <sup>4</sup>	82.5	66.1	72.7	68.2	32.7	34.4	23.3
Months of Inventory <sup>5</sup>	4.2	7.3	8.0	11.8	23.1	18.7	17.8
Average Price	\$182,031	-9.5	3.7	-1.8	29.4	-17.8	2.0
Median Price	\$168,250	-8.8	5.3	5.2	121.3	-19.1	8.5
Sales to List Price Ratio	95.6	95.6	94.9	94.9	93.6	94.3	94.2
Median Days on Market	50.5	74.0	102.0	167.0	153.0	84.5	28.5

<sup>1</sup> Sales / new listings \* 100; Compared to levels from previous periods.

<sup>2</sup> Active listings at month end / monthly sales; Compared to levels from previous periods.

<sup>3</sup> The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year.

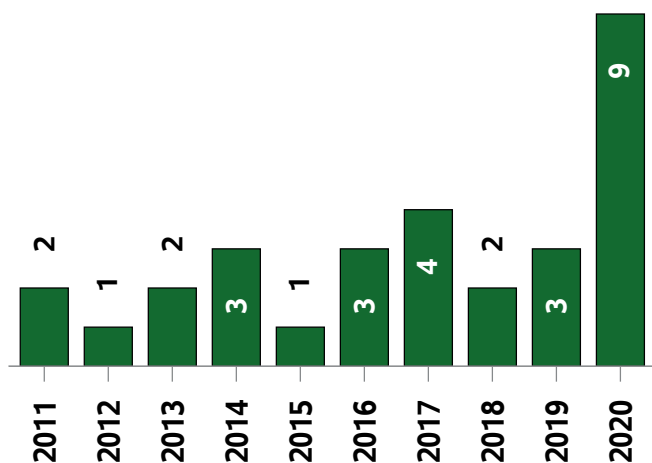
<sup>4</sup> Sum of sales from January to current month / sum of new listings from January to current month.

<sup>5</sup> The year-to-date months of inventory figure is calculated as: average active listings from January to current month / average sales from January to current month.

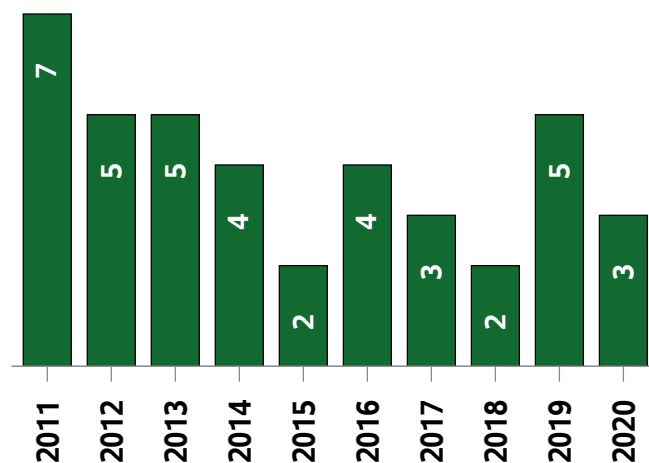
<sup>6</sup> Sales to new listings ratio, months of inventory and median days on market shown as levels; all others calculated as percentage changes.

## Elkford MLS® Single Family Market Activity

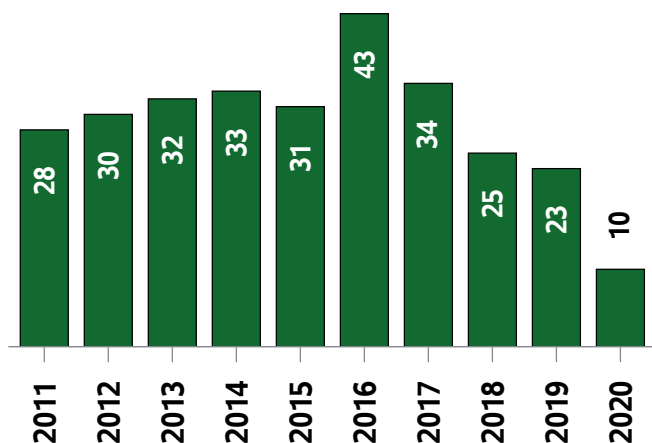
Sales Activity (October only)



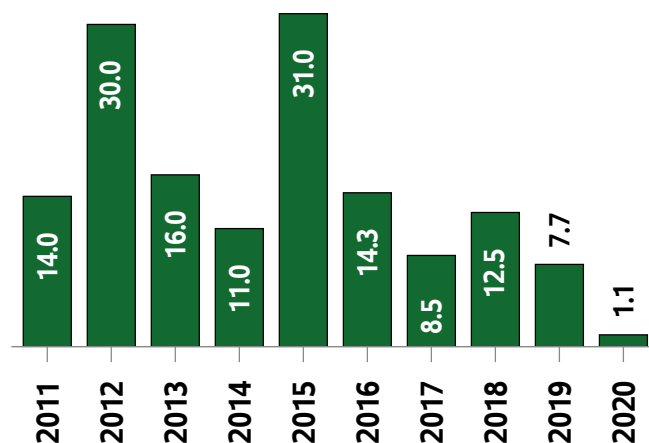
New Listings (October only)



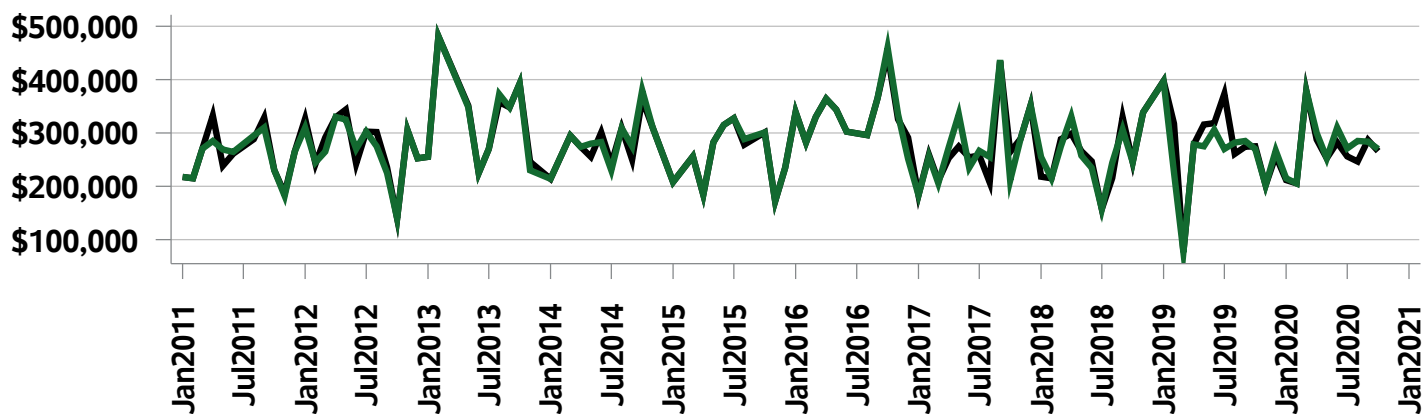
Active Listings (October only)



Months of Inventory (October only)

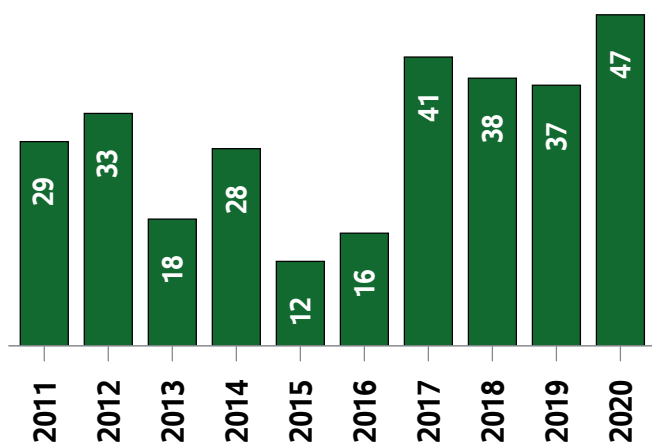


Average Price and Median Price

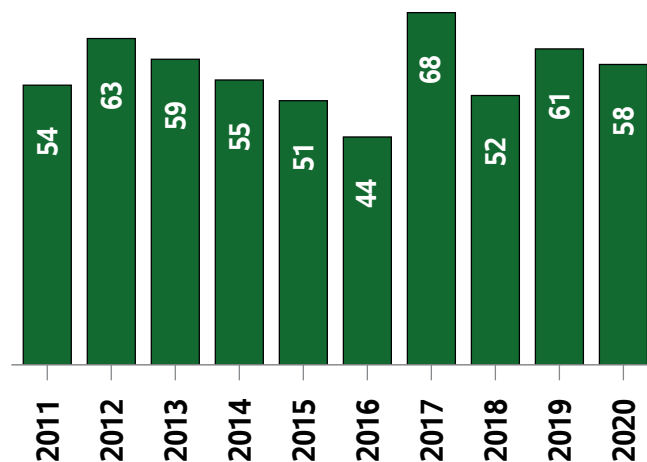


## Elkford MLS® Single Family Market Activity

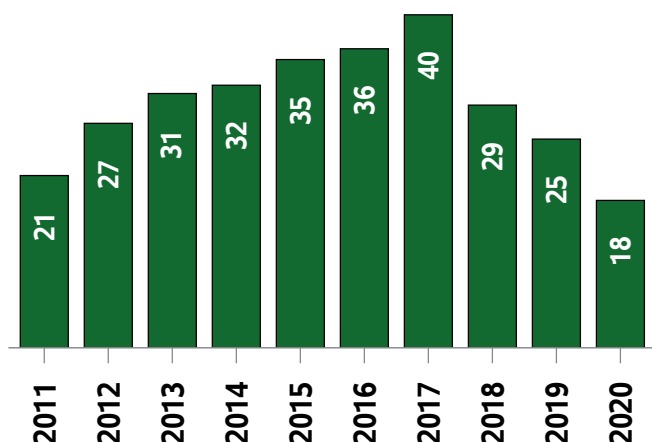
Sales Activity (October Year-to-date)



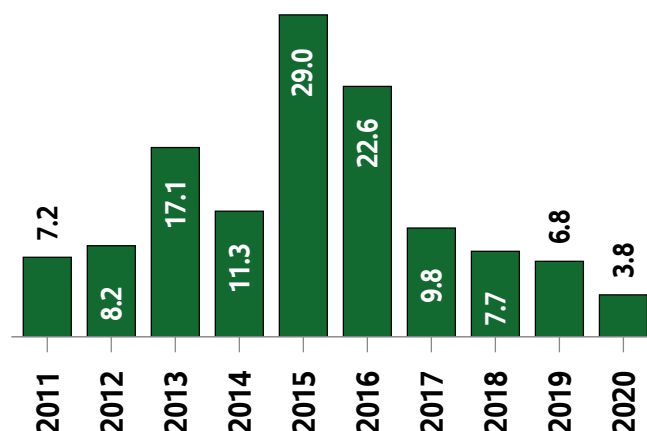
New Listings (October Year-to-date)



Active Listings <sup>1</sup> (October Year-to-date)



Months of Inventory <sup>2</sup> (October Year-to-date)



<sup>1</sup> The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year

<sup>2</sup> Average active listings January to the current month/average of sales January to the current month



# Elkford

## MLS® Single Family Market Activity

Actual	October 2020	Compared to <sup>6</sup>					
		October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Sales Activity	9	200.0	350.0	125.0	800.0	350.0	350.0
Dollar Volume	\$2,392,500	190.0	387.8	126.2	694.9	204.8	577.8
New Listings	3	-40.0	50.0	0.0	50.0	-40.0	50.0
Active Listings	10	-56.5	-60.0	-70.6	-67.7	-68.8	-47.4
Sales to New Listings Ratio <sup>1</sup>	300.0	60.0	100.0	133.3	50.0	40.0	100.0
Months of Inventory <sup>2</sup>	1.1	7.7	12.5	8.5	31.0	16.0	9.5
Average Price	\$265,833	-3.3	8.4	0.6	-11.7	-32.3	50.6
Median Price	\$270,000	0.0	10.1	28.0	-10.3	-31.2	53.0
Sales to List Price Ratio	96.9	97.3	97.3	92.3	95.7	95.7	92.4
Median Days on Market	42.0	121.0	79.0	230.5	27.0	295.5	110.5
Year-to-date	October 2020	Compared to <sup>6</sup>					
		October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Sales Activity	47	27.0	23.7	14.6	291.7	161.1	235.7
Dollar Volume	\$12,501,300	11.5	27.9	14.8	297.1	105.8	306.7
New Listings	58	-4.9	11.5	-14.7	13.7	-1.7	20.8
Active Listings <sup>3</sup>	18	-29.4	-39.2	-55.7	-48.9	-42.0	-13.6
Sales to New Listings Ratio <sup>4</sup>	81.0	60.7	73.1	60.3	23.5	30.5	29.2
Months of Inventory <sup>5</sup>	3.8	6.8	7.7	9.8	29.0	17.1	14.7
Average Price	\$265,985	-12.2	3.4	0.1	1.4	-21.2	21.1
Median Price	\$279,000	-1.1	9.4	9.0	0.8	-10.1	12.7
Sales to List Price Ratio	96.1	96.0	95.7	95.9	95.4	96.3	94.4
Median Days on Market	48.0	64.0	107.5	118.0	64.0	70.5	35.0

<sup>1</sup> Sales / new listings \* 100; Compared to levels from previous periods.

<sup>2</sup> Active listings at month end / monthly sales; Compared to levels from previous periods.

<sup>3</sup> The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year.

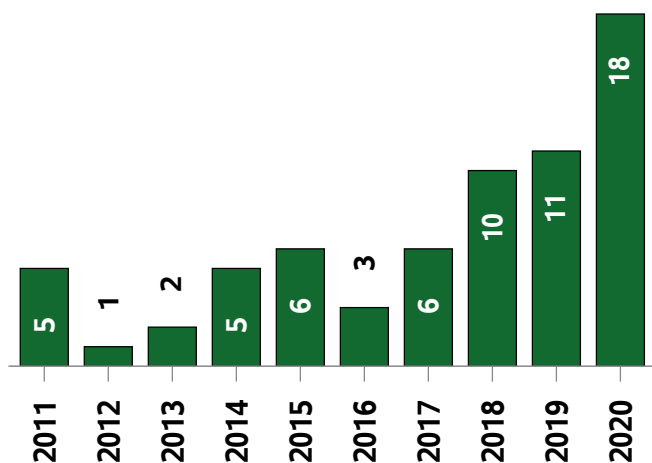
<sup>4</sup> Sum of sales from January to current month / sum of new listings from January to current month.

<sup>5</sup> The year-to-date months of inventory figure is calculated as: average active listings from January to current month / average sales from January to current month.

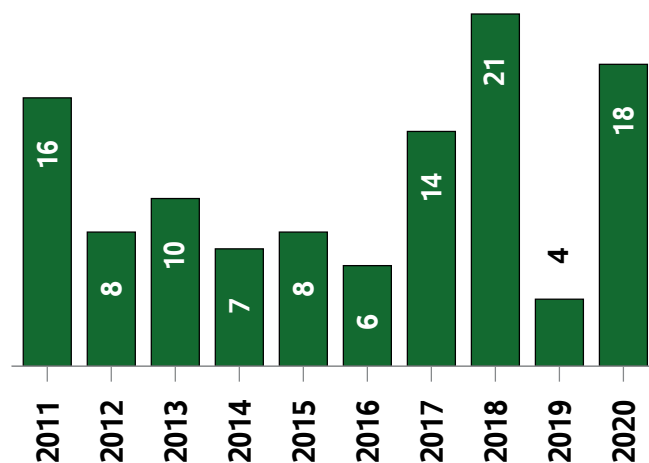
<sup>6</sup> Sales to new listings ratio, months of inventory and median days on market shown as levels; all others calculated as percentage changes.

## Invermere MLS® Residential Market Activity

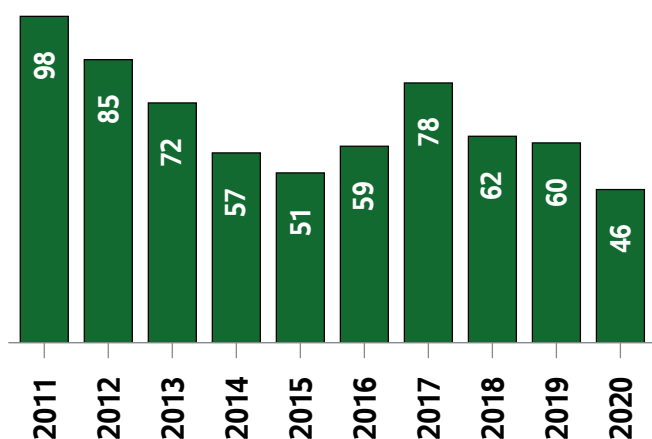
Sales Activity (October only)



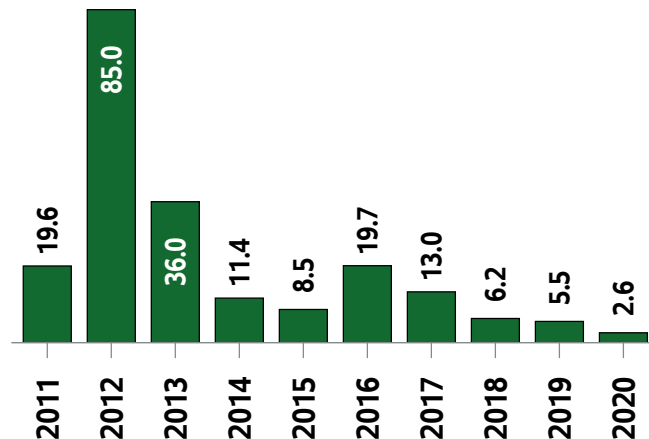
New Listings (October only)



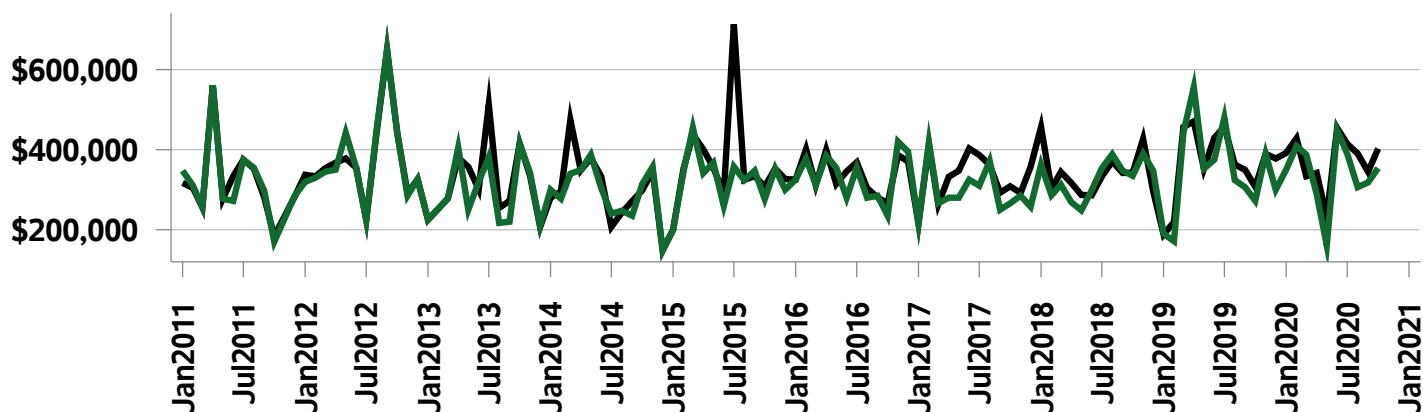
Active Listings (October only)



Months of Inventory (October only)

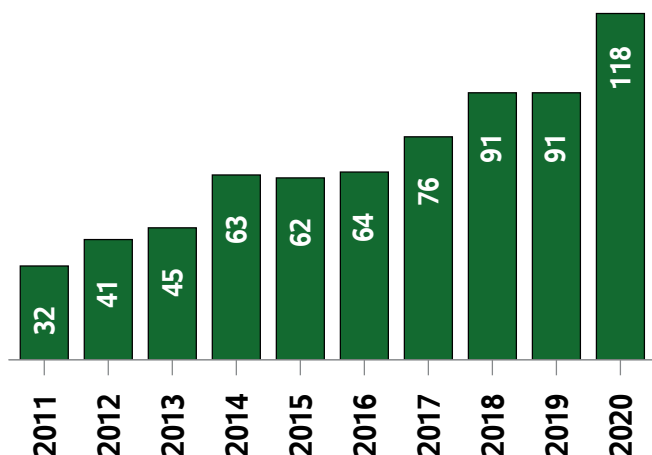


Average Price and Median Price

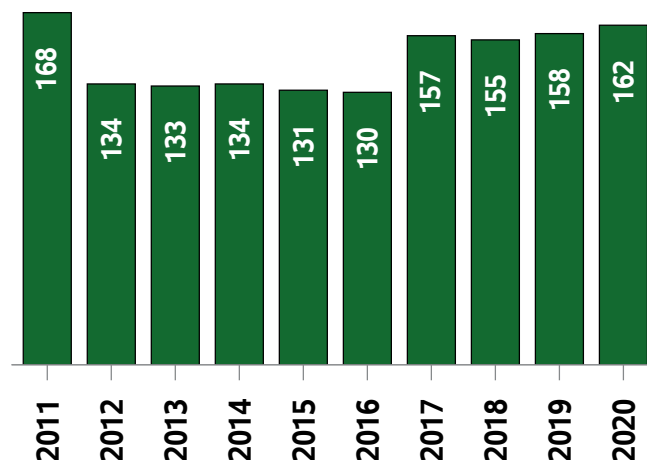


## Invermere MLS® Residential Market Activity

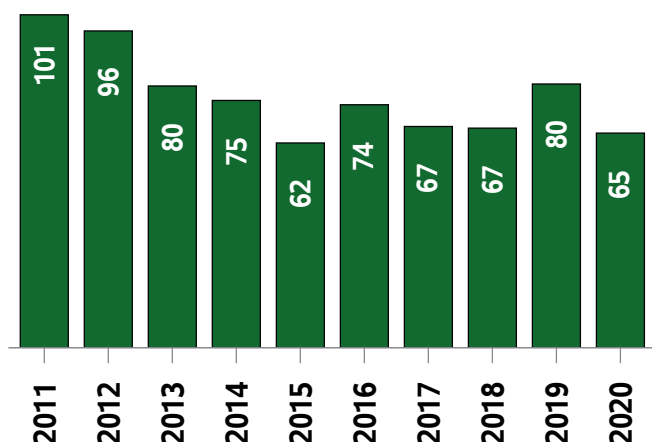
Sales Activity (October Year-to-date)



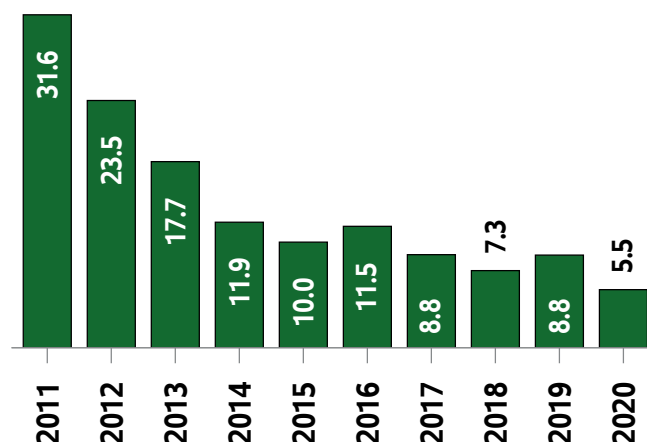
New Listings (October Year-to-date)



Active Listings <sup>1</sup> (October Year-to-date)



Months of Inventory <sup>2</sup> (October Year-to-date)



<sup>1</sup> The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year

<sup>2</sup> Average active listings January to the current month/average of sales January to the current month

# Invermere MLS® Residential Market Activity

Actual	October 2020	Compared to <sup>6</sup>					
		October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Sales Activity	18	63.6	80.0	200.0	200.0	800.0	1,700.0
Dollar Volume	\$7,247,000	114.4	111.7	291.6	292.6	772.1	1,637.9
New Listings	18	350.0	-14.3	28.6	125.0	80.0	100.0
Active Listings	46	-23.3	-25.8	-41.0	-9.8	-36.1	-34.3
Sales to New Listings Ratio <sup>1</sup>	100.0	275.0	47.6	42.9	75.0	20.0	11.1
Months of Inventory <sup>2</sup>	2.6	5.5	6.2	13.0	8.5	36.0	70.0
Average Price	\$402,611	31.0	17.6	30.5	30.9	-3.1	-3.5
Median Price	\$354,000	29.9	5.8	33.1	28.0	-14.8	-15.1
Sales to List Price Ratio	96.6	95.6	95.5	96.4	94.7	96.2	97.2
Median Days on Market	40.5	149.0	102.0	37.0	109.0	246.0	3.0
Year-to-date	October 2020	Compared to <sup>6</sup>					
		October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Sales Activity	118	29.7	29.7	55.3	90.3	162.2	461.9
Dollar Volume	\$45,117,471	32.2	48.8	68.8	84.2	185.9	486.9
New Listings	162	2.5	4.5	3.2	23.7	21.8	0.6
Active Listings <sup>3</sup>	65	-18.6	-2.2	-3.0	4.8	-18.0	-12.7
Sales to New Listings Ratio <sup>4</sup>	72.8	57.6	58.7	48.4	47.3	33.8	13.0
Months of Inventory <sup>5</sup>	5.5	8.8	7.3	8.8	10.0	17.7	35.6
Average Price	\$382,351	1.9	14.8	8.7	-3.2	9.0	4.5
Median Price	\$359,450	-1.5	15.0	16.9	2.7	31.9	10.6
Sales to List Price Ratio	96.7	96.7	95.6	95.7	95.8	94.8	93.4
Median Days on Market	76.0	82.0	79.0	50.5	95.5	68.0	55.0

<sup>1</sup> Sales / new listings \* 100; Compared to levels from previous periods.

<sup>2</sup> Active listings at month end / monthly sales; Compared to levels from previous periods.

<sup>3</sup> The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year.

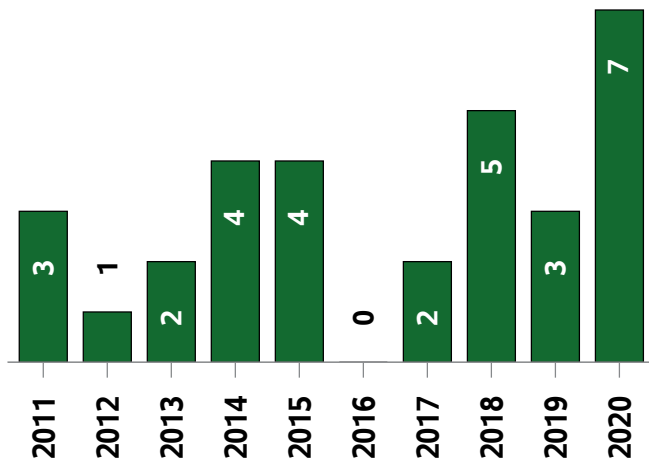
<sup>4</sup> Sum of sales from January to current month / sum of new listings from January to current month.

<sup>5</sup> The year-to-date months of inventory figure is calculated as: average active listings from January to current month / average sales from January to current month.

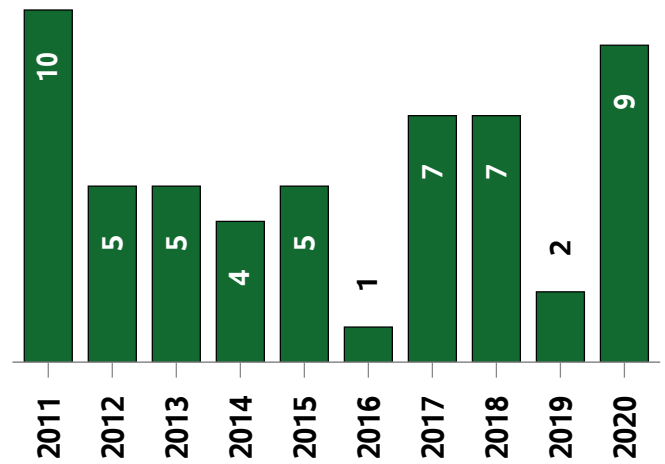
<sup>6</sup> Sales to new listings ratio, months of inventory and median days on market shown as levels; all others calculated as percentage changes.

## Invermere MLS® Single Family Market Activity

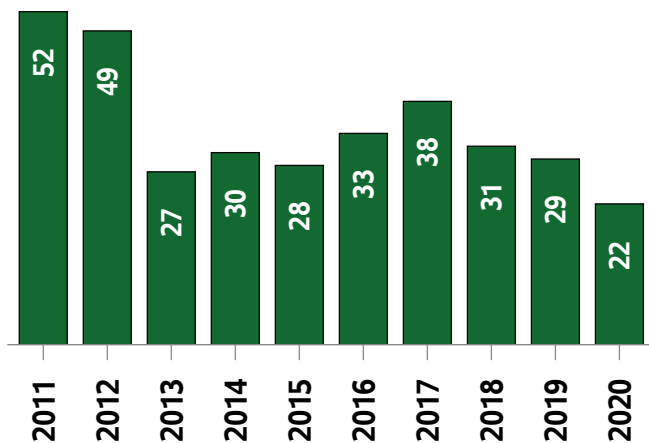
Sales Activity (October only)



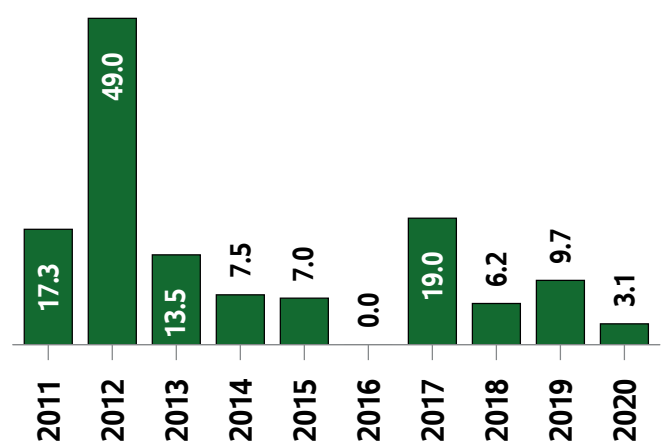
New Listings (October only)



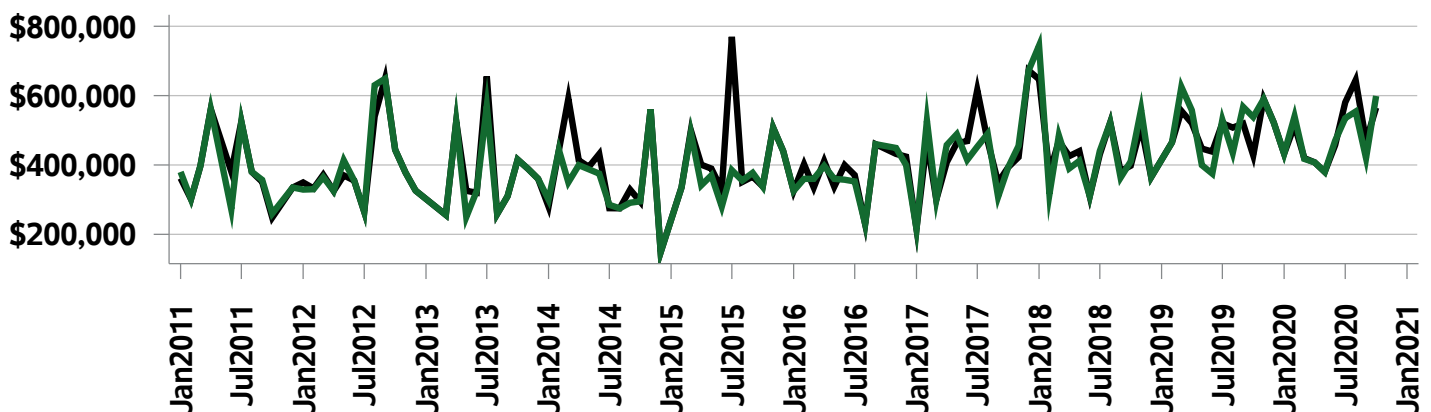
Active Listings (October only)



Months of Inventory (October only)

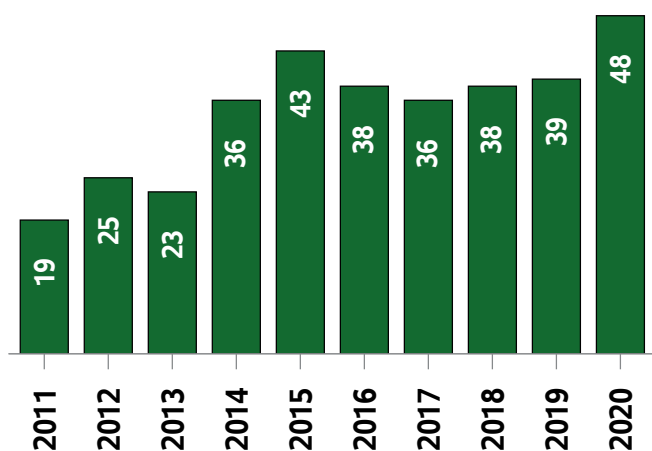


Average Price and Median Price

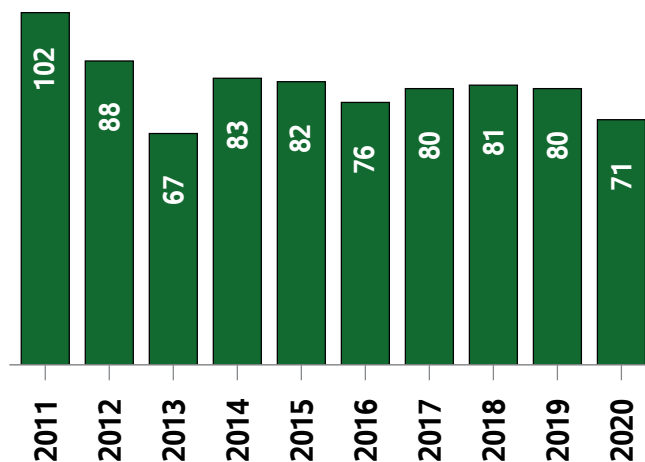


## Invermere MLS® Single Family Market Activity

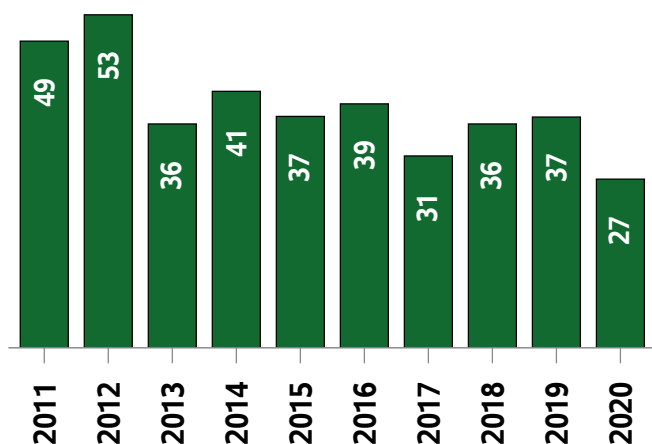
Sales Activity (October Year-to-date)



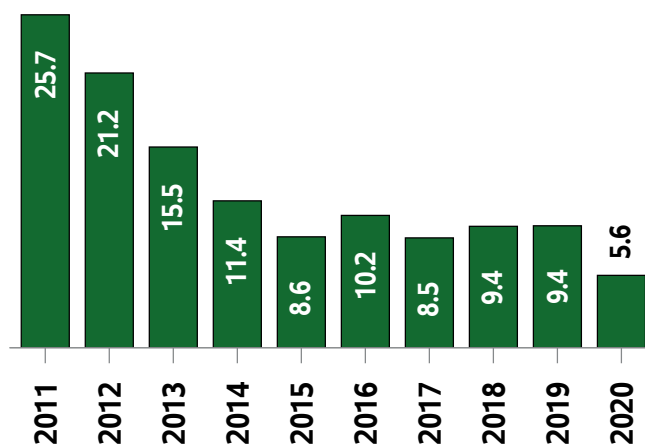
New Listings (October Year-to-date)



Active Listings <sup>1</sup> (October Year-to-date)



Months of Inventory <sup>2</sup> (October Year-to-date)



<sup>1</sup> The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year

<sup>2</sup> Average active listings January to the current month/average of sales January to the current month

# Invermere

## MLS® Single Family Market Activity

Actual	October 2020	Compared to <sup>6</sup>					
		October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Sales Activity	7	133.3	40.0	250.0	75.0	250.0	600.0
Dollar Volume	\$3,957,000	208.4	98.9	403.1	192.6	376.2	848.9
New Listings	9	350.0	28.6	28.6	80.0	80.0	50.0
Active Listings	22	-24.1	-29.0	-42.1	-21.4	-18.5	-33.3
Sales to New Listings Ratio <sup>1</sup>	77.8	150.0	71.4	28.6	80.0	40.0	16.7
Months of Inventory <sup>2</sup>	3.1	9.7	6.2	19.0	7.0	13.5	33.0
Average Price	\$565,286	32.2	42.1	43.7	67.2	36.0	35.6
Median Price	\$599,000	11.3	46.1	52.3	77.5	44.2	43.6
Sales to List Price Ratio	97.2	95.7	96.8	94.7	94.0	96.2	97.2
Median Days on Market	30.0	149.0	88.0	34.0	109.0	246.0	3.0
Year-to-date	October 2020	Compared to <sup>6</sup>					
		October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Sales Activity	48	23.1	26.3	33.3	11.6	108.7	200.0
Dollar Volume	\$24,497,199	27.1	47.0	53.4	25.5	142.1	292.0
New Listings	71	-11.3	-12.3	-11.3	-13.4	6.0	-19.3
Active Listings <sup>3</sup>	27	-26.9	-24.6	-12.1	-27.1	-24.6	-29.6
Sales to New Listings Ratio <sup>4</sup>	67.6	48.8	46.9	45.0	52.4	34.3	18.2
Months of Inventory <sup>5</sup>	5.6	9.4	9.4	8.5	8.6	15.5	23.9
Average Price	\$510,358	3.3	16.4	15.0	12.4	16.0	30.7
Median Price	\$470,000	-9.2	17.1	11.0	28.8	36.2	21.3
Sales to List Price Ratio	97.0	96.6	95.4	95.0	95.6	95.4	93.8
Median Days on Market	60.0	59.0	64.5	44.0	56.0	96.0	39.0

<sup>1</sup> Sales / new listings \* 100; Compared to levels from previous periods.

<sup>2</sup> Active listings at month end / monthly sales; Compared to levels from previous periods.

<sup>3</sup> The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year.

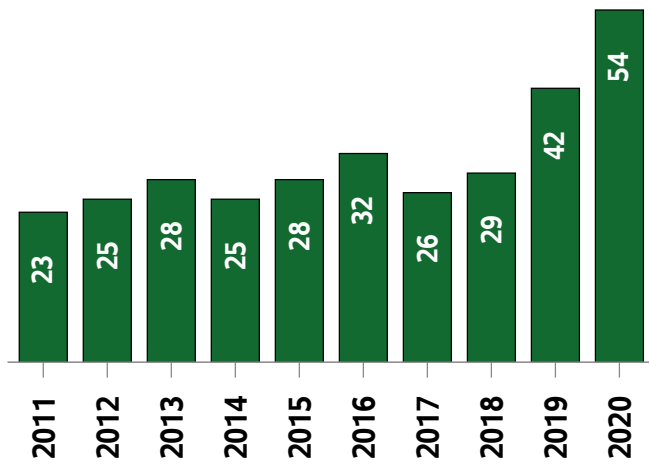
<sup>4</sup> Sum of sales from January to current month / sum of new listings from January to current month.

<sup>5</sup> The year-to-date months of inventory figure is calculated as: average active listings from January to current month / average sales from January to current month.

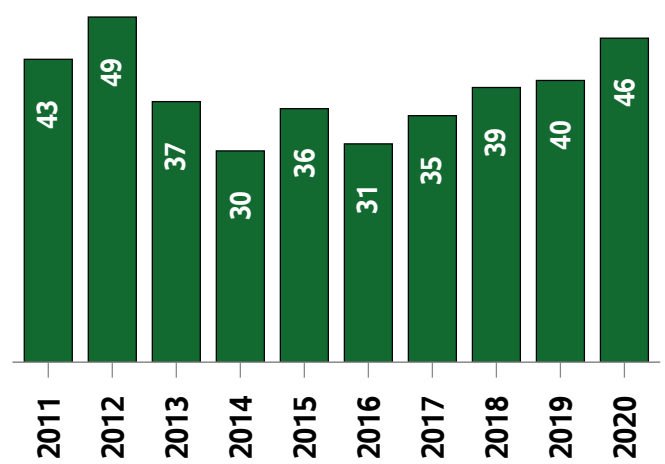
<sup>6</sup> Sales to new listings ratio, months of inventory and median days on market shown as levels; all others calculated as percentage changes.

## Cranbrook MLS® Residential Market Activity

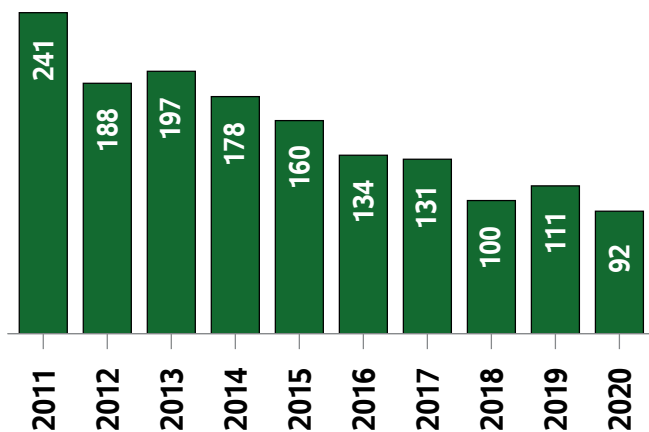
Sales Activity (October only)



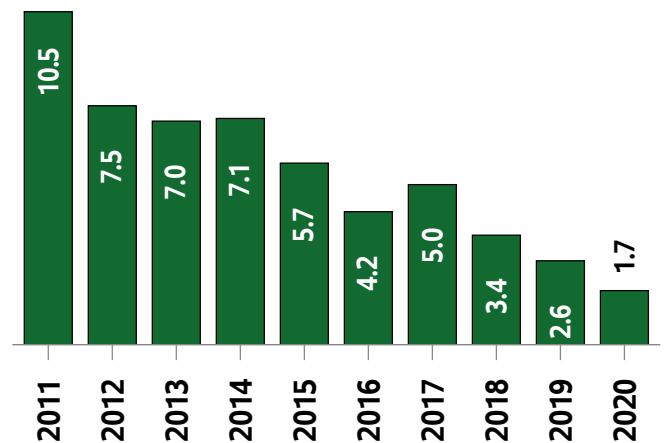
New Listings (October only)



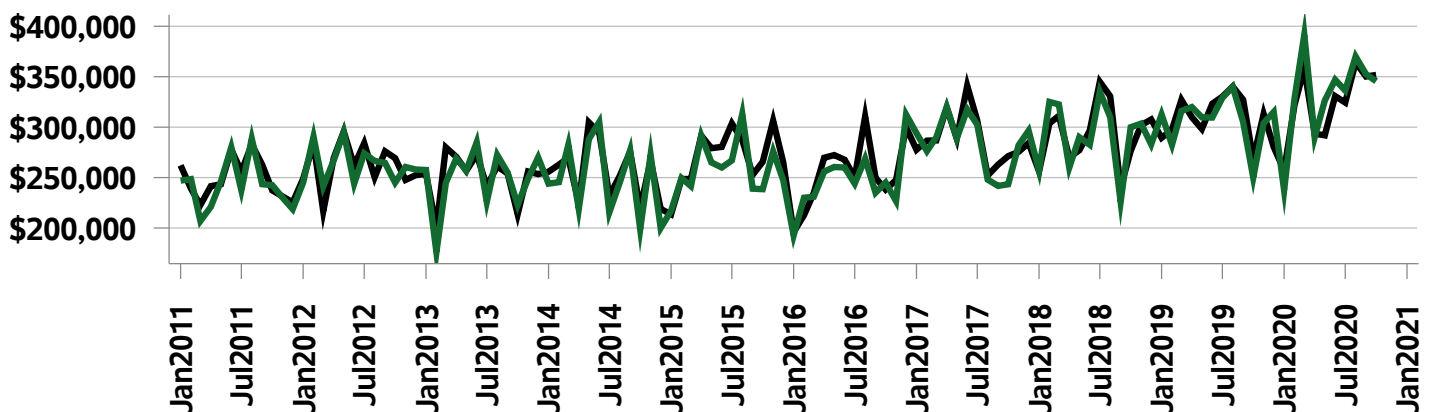
Active Listings (October only)



Months of Inventory (October only)



Average Price and Median Price

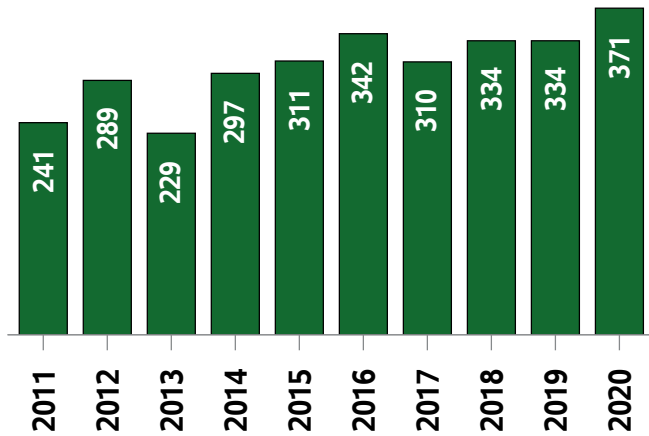




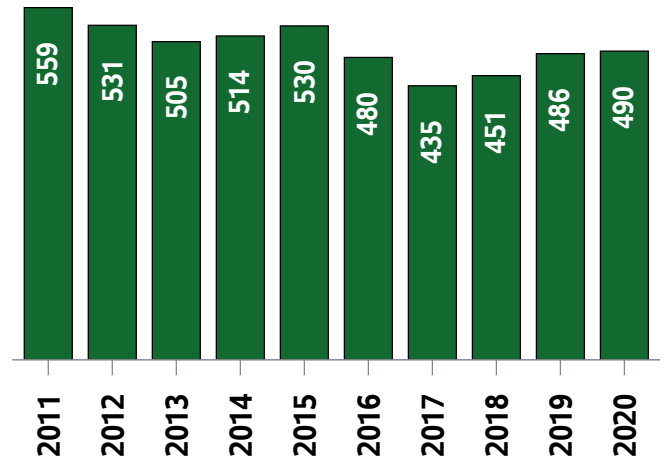
# Cranbrook

## MLS® Residential Market Activity

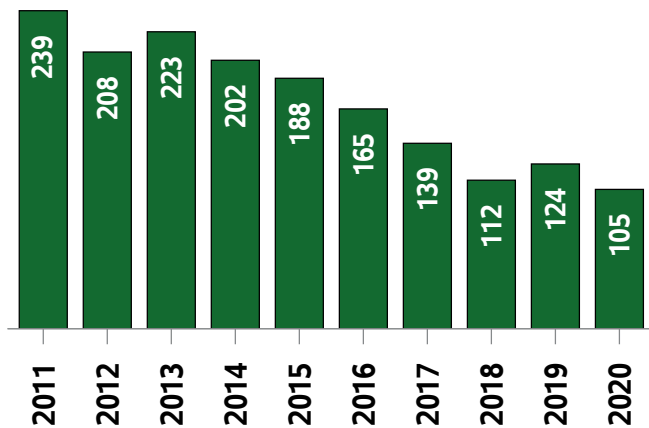
Sales Activity (October Year-to-date)



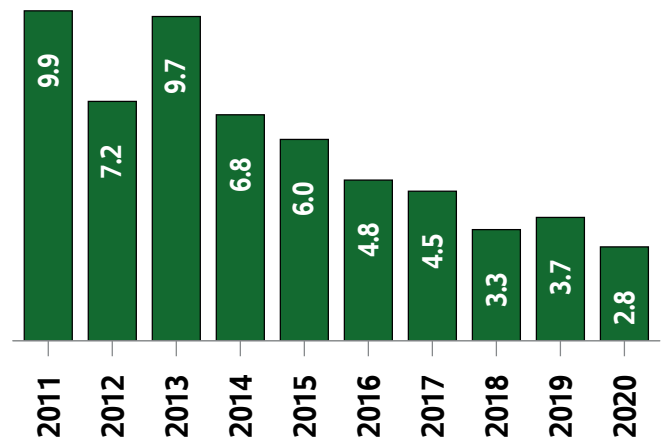
New Listings (October Year-to-date)



Active Listings <sup>1</sup> (October Year-to-date)



Months of Inventory <sup>2</sup> (October Year-to-date)



<sup>1</sup> The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year

<sup>2</sup> Average active listings January to the current month/average of sales January to the current month

# Cranbrook

## MLS® Residential Market Activity

Actual	October 2020	Compared to <sup>6</sup>					
		October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Sales Activity	54	28.6	86.2	107.7	92.9	92.9	184.2
Dollar Volume	\$18,993,475	68.6	136.9	169.3	155.4	217.4	306.7
New Listings	46	15.0	17.9	31.4	27.8	24.3	4.5
Active Listings	92	-17.1	-8.0	-29.8	-42.5	-53.3	-56.6
Sales to New Listings Ratio <sup>1</sup>	117.4	105.0	74.4	74.3	77.8	75.7	43.2
Months of Inventory <sup>2</sup>	1.7	2.6	3.4	5.0	5.7	7.0	11.2
Average Price	\$351,731	31.1	27.2	29.7	32.4	64.6	43.1
Median Price	\$345,500	38.2	15.2	42.0	44.9	54.9	46.4
Sales to List Price Ratio	97.9	95.7	97.3	96.7	95.8	97.1	95.6
Median Days on Market	29.5	62.5	47.0	55.5	56.5	56.0	87.0
Year-to-date	October 2020	Compared to <sup>6</sup>					
		October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Sales Activity	371	11.1	11.1	19.7	19.3	62.0	71.0
Dollar Volume	\$123,712,177	18.7	26.0	36.5	45.5	117.1	123.9
New Listings	490	0.8	8.6	12.6	-7.5	-3.0	-19.9
Active Listings <sup>3</sup>	105	-15.4	-6.2	-24.8	-44.3	-53.0	-43.4
Sales to New Listings Ratio <sup>4</sup>	75.7	68.7	74.1	71.3	58.7	45.3	35.5
Months of Inventory <sup>5</sup>	2.8	3.7	3.3	4.5	6.0	9.7	8.5
Average Price	\$333,456	6.9	13.5	14.0	21.9	34.0	30.9
Median Price	\$339,900	9.5	14.0	19.3	30.7	37.1	35.4
Sales to List Price Ratio	97.9	96.8	97.4	97.0	96.4	95.9	96.4
Median Days on Market	34.0	43.0	42.5	50.0	59.0	61.0	33.0

<sup>1</sup> Sales / new listings \* 100; Compared to levels from previous periods.

<sup>2</sup> Active listings at month end / monthly sales; Compared to levels from previous periods.

<sup>3</sup> The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year.

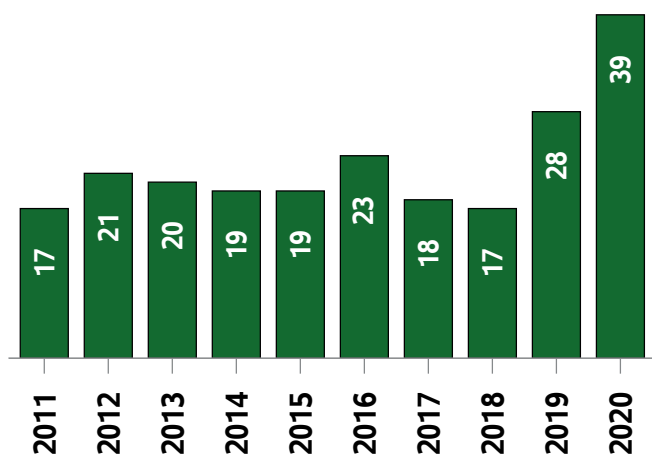
<sup>4</sup> Sum of sales from January to current month / sum of new listings from January to current month.

<sup>5</sup> The year-to-date months of inventory figure is calculated as: average active listings from January to current month / average sales from January to current month.

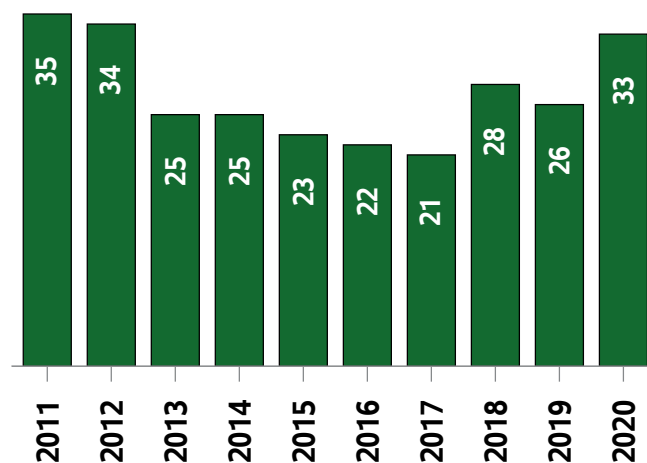
<sup>6</sup> Sales to new listings ratio, months of inventory and median days on market shown as levels; all others calculated as percentage changes.

## Cranbrook MLS® Single Family Market Activity

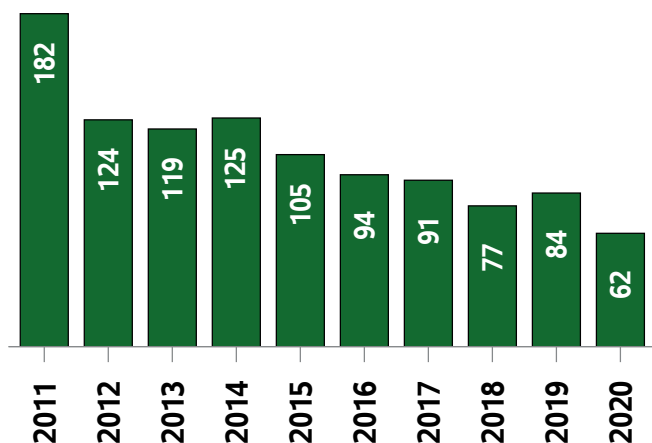
Sales Activity (October only)



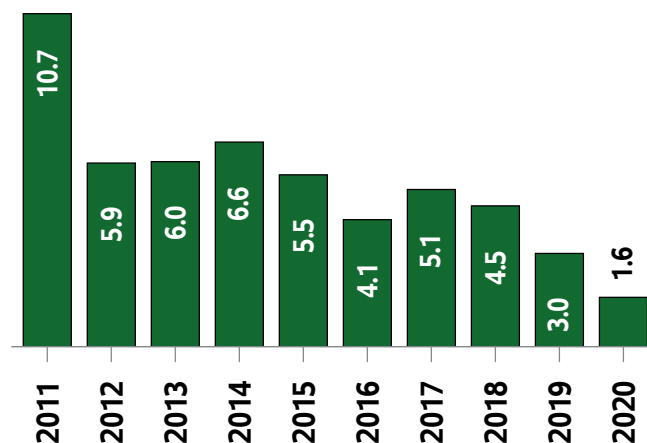
New Listings (October only)



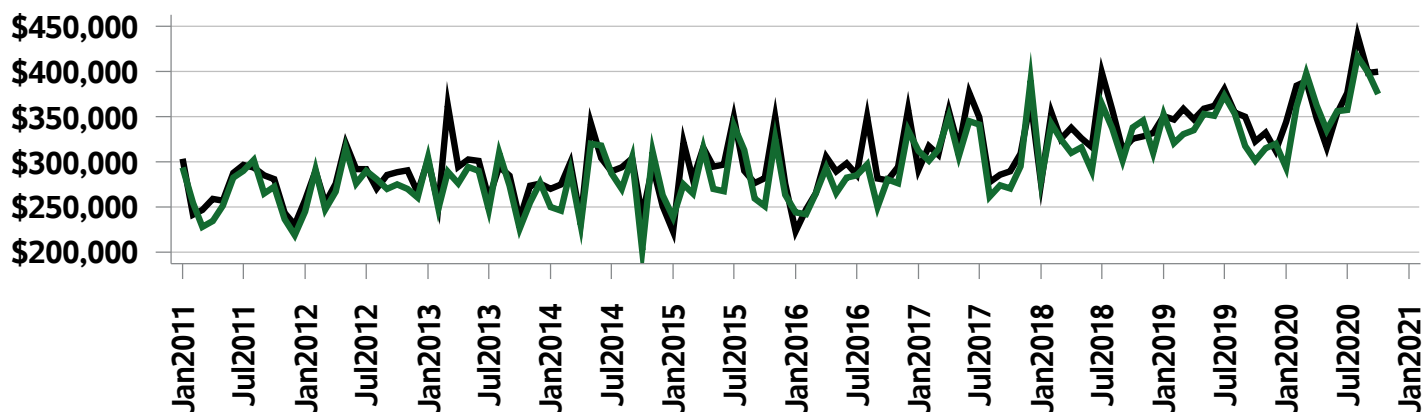
Active Listings (October only)



Months of Inventory (October only)

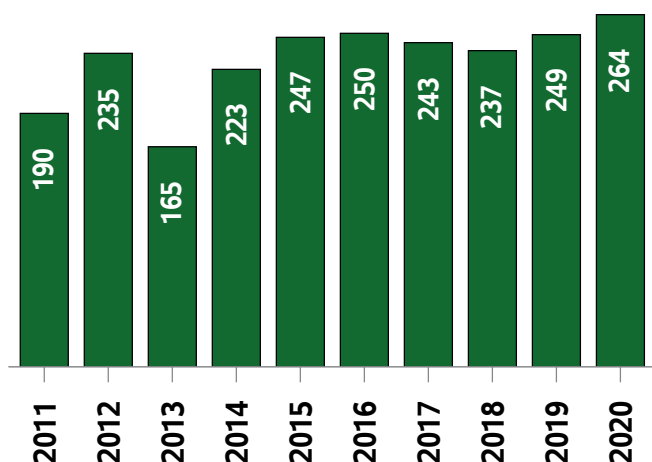


Average Price and Median Price

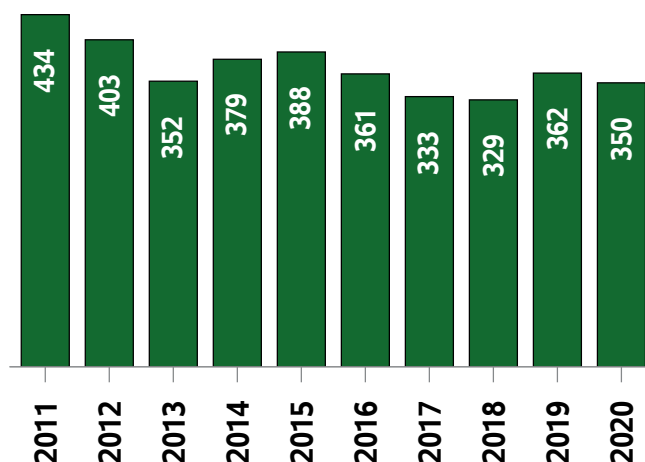


## Cranbrook MLS® Single Family Market Activity

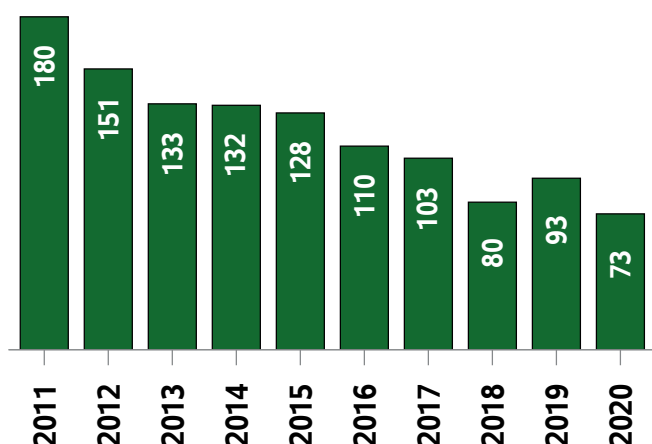
Sales Activity (October Year-to-date)



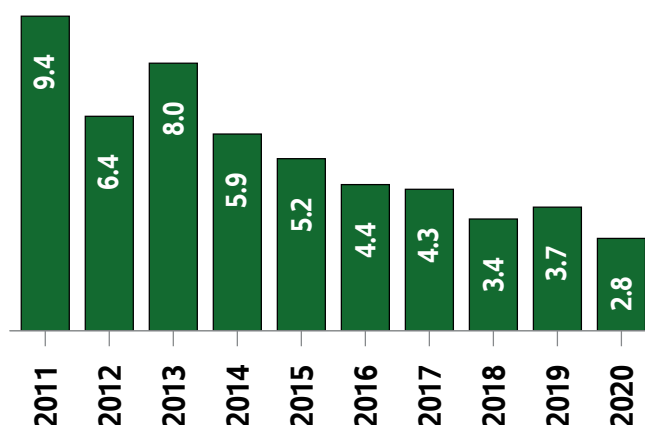
New Listings (October Year-to-date)



Active Listings <sup>1</sup> (October Year-to-date)



Months of Inventory <sup>2</sup> (October Year-to-date)



<sup>1</sup> The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year

<sup>2</sup> Average active listings January to the current month/average of sales January to the current month

# Cranbrook

## MLS® Single Family Market Activity

Actual	October 2020	Compared to <sup>6</sup>					
		October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Sales Activity	39	39.3	129.4	116.7	105.3	95.0	143.8
Dollar Volume	\$15,588,475	72.6	181.6	199.2	191.1	229.7	281.2
New Listings	33	26.9	17.9	57.1	43.5	32.0	3.1
Active Listings	62	-26.2	-19.5	-31.9	-41.0	-47.9	-62.7
Sales to New Listings Ratio <sup>1</sup>	118.2	107.7	60.7	85.7	82.6	80.0	50.0
Months of Inventory <sup>2</sup>	1.6	3.0	4.5	5.1	5.5	6.0	10.4
Average Price	\$399,704	23.9	22.8	38.1	41.8	69.1	56.4
Median Price	\$375,000	24.5	10.9	38.6	49.4	65.9	55.3
Sales to List Price Ratio	98.5	95.8	98.4	96.9	95.6	97.7	95.8
Median Days on Market	29.0	57.0	41.0	55.0	50.0	56.0	71.0
Year-to-date	October 2020	Compared to <sup>6</sup>					
		October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Sales Activity	264	6.0	11.4	8.6	6.9	60.0	62.0
Dollar Volume	\$101,004,927	14.8	26.3	28.9	37.4	116.1	122.4
New Listings	350	-3.3	6.4	5.1	-9.8	-0.6	-25.2
Active Listings <sup>3</sup>	73	-20.8	-7.9	-29.0	-42.6	-44.7	-48.5
Sales to New Listings Ratio <sup>4</sup>	75.4	68.8	72.0	73.0	63.7	46.9	34.8
Months of Inventory <sup>5</sup>	2.8	3.7	3.4	4.3	5.2	8.0	8.7
Average Price	\$382,594	8.2	13.4	18.6	28.5	35.1	37.3
Median Price	\$370,000	8.2	13.8	19.4	37.0	34.1	37.0
Sales to List Price Ratio	98.3	97.2	97.7	97.3	96.6	96.6	97.0
Median Days on Market	32.5	43.0	40.0	51.0	57.0	60.0	33.0

<sup>1</sup> Sales / new listings \* 100; Compared to levels from previous periods.

<sup>2</sup> Active listings at month end / monthly sales; Compared to levels from previous periods.

<sup>3</sup> The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year.

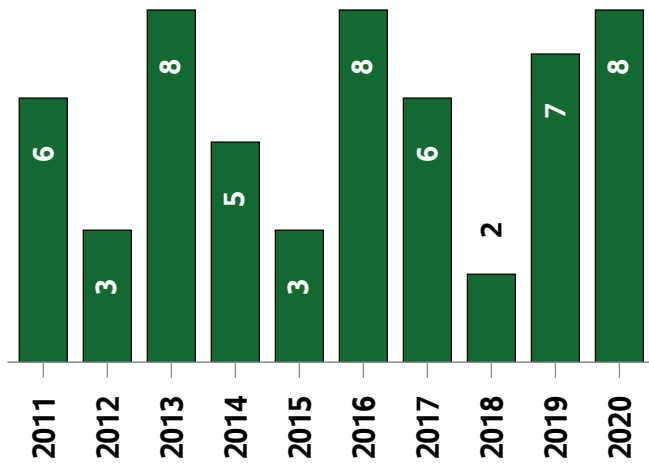
<sup>4</sup> Sum of sales from January to current month / sum of new listings from January to current month.

<sup>5</sup> The year-to-date months of inventory figure is calculated as: average active listings from January to current month / average sales from January to current month.

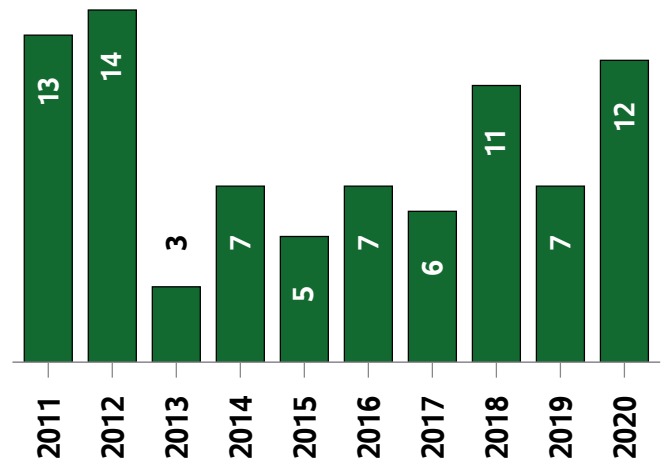
<sup>6</sup> Sales to new listings ratio, months of inventory and median days on market shown as levels; all others calculated as percentage changes.

## Cranbrook Lakes MLS® Residential Market Activity

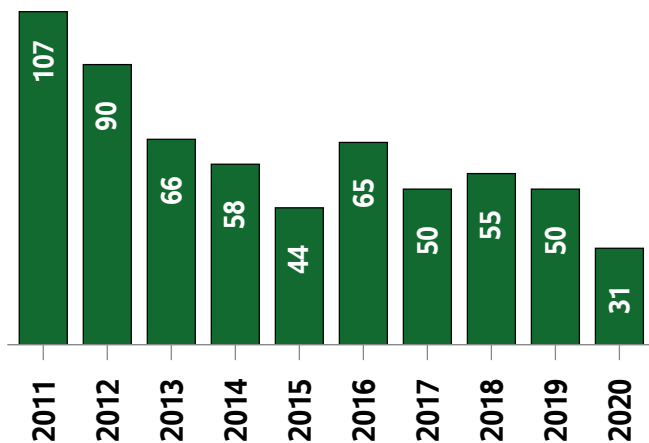
Sales Activity (October only)



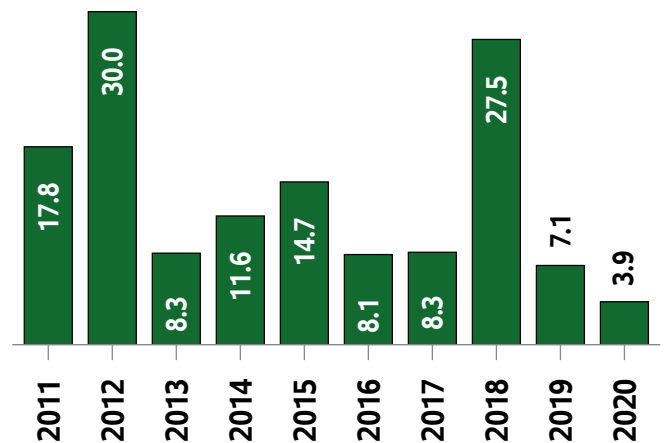
New Listings (October only)



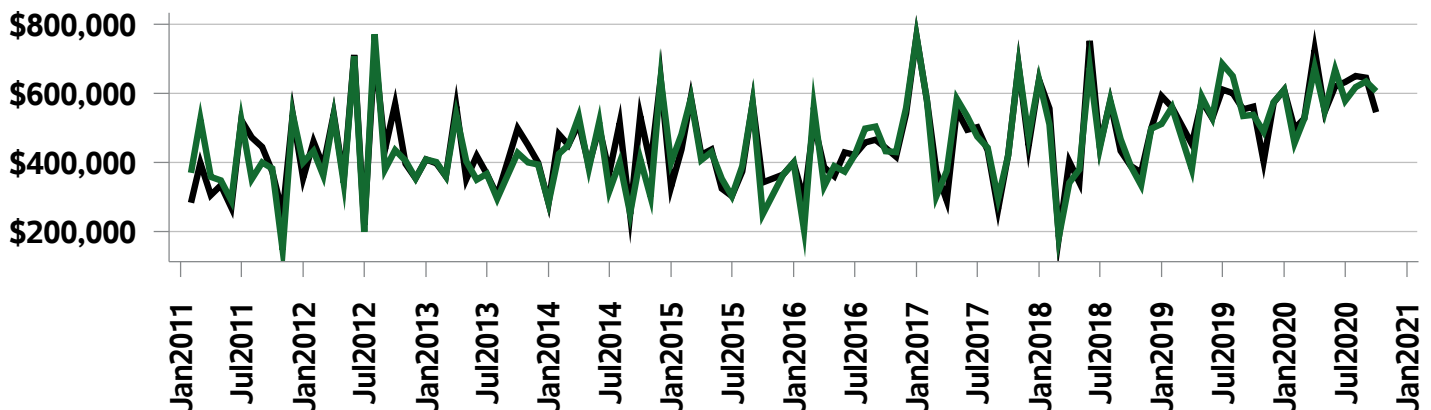
Active Listings (October only)



Months of Inventory (October only)

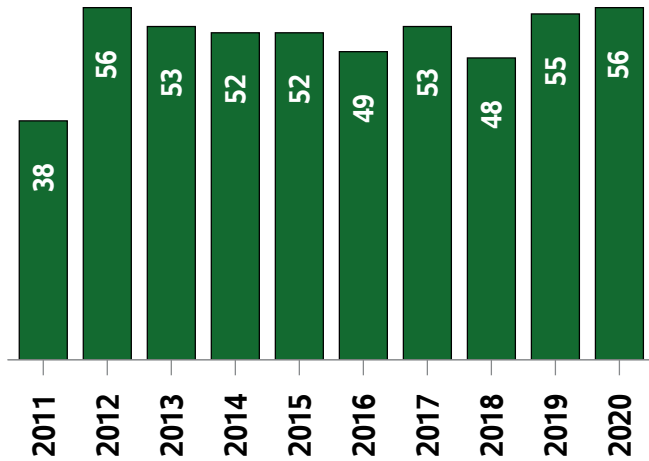


Average Price and Median Price

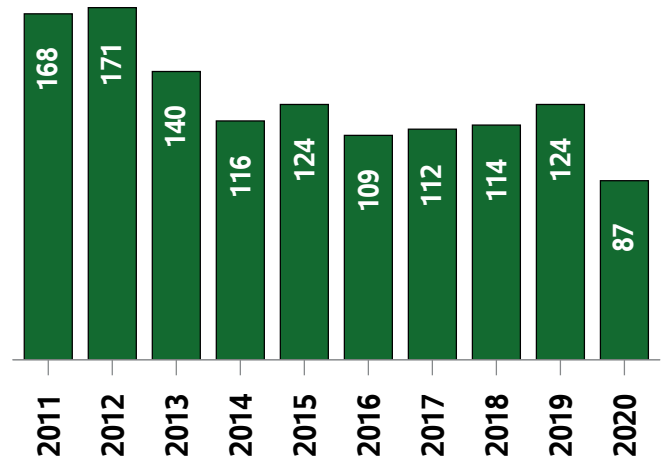


# Cranbrook Lakes MLS® Residential Market Activity

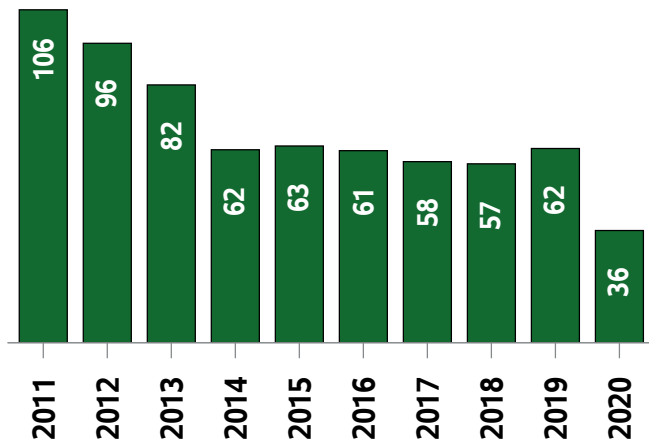
**Sales Activity (October Year-to-date)**



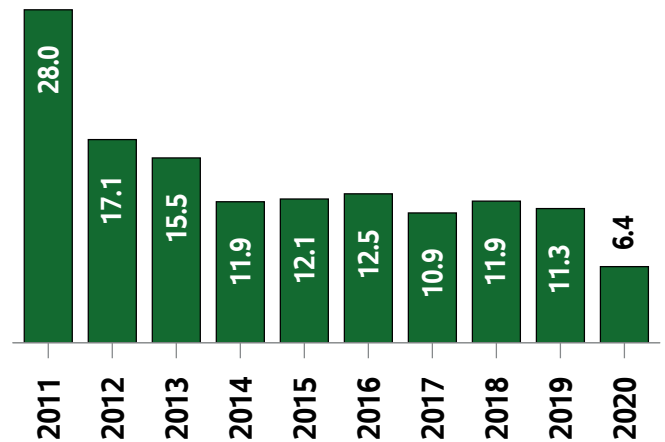
**New Listings (October Year-to-date)**



**Active Listings <sup>1</sup> (October Year-to-date)**



**Months of Inventory <sup>2</sup> (October Year-to-date)**



<sup>1</sup> The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year

<sup>2</sup> Average active listings January to the current month/average of sales January to the current month

# Cranbrook Lakes

## MLS® Residential Market Activity

Actual	October 2020	Compared to <sup>6</sup>					
		October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Sales Activity	8	14.3	300.0	33.3	166.7	0.0	14.3
Dollar Volume	\$4,363,000	11.0	459.4	72.4	325.2	9.5	83.9
New Listings	12	71.4	9.1	100.0	140.0	300.0	0.0
Active Listings	31	-38.0	-43.6	-38.0	-29.5	-53.0	-65.2
Sales to New Listings Ratio <sup>1</sup>	66.7	100.0	18.2	100.0	60.0	266.7	58.3
Months of Inventory <sup>2</sup>	3.9	7.1	27.5	8.3	14.7	8.3	12.7
Average Price	\$545,375	-2.9	39.8	29.3	59.5	9.5	60.9
Median Price	\$606,000	12.6	55.4	44.3	142.4	41.8	77.2
Sales to List Price Ratio	94.0	95.9	96.5	97.2	95.9	92.2	93.5
Median Days on Market	58.5	136.0	89.0	87.0	24.0	154.5	78.0
Year-to-date	October 2020	Compared to <sup>6</sup>					
		October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Sales Activity	56	1.8	16.7	5.7	7.7	5.7	40.0
Dollar Volume	\$33,970,700	9.3	46.8	44.0	58.0	48.4	152.2
New Listings	87	-29.8	-23.7	-22.3	-29.8	-37.9	-56.7
Active Listings <sup>3</sup>	36	-42.2	-37.2	-38.0	-42.9	-56.4	-49.4
Sales to New Listings Ratio <sup>4</sup>	64.4	44.4	42.1	47.3	41.9	37.9	19.9
Months of Inventory <sup>5</sup>	6.4	11.3	11.9	10.9	12.1	15.5	17.7
Average Price	\$606,620	7.3	25.9	36.3	46.7	40.5	80.1
Median Price	\$603,250	4.9	27.8	32.6	43.6	60.9	65.5
Sales to List Price Ratio	96.6	96.9	96.2	96.1	96.5	95.2	93.8
Median Days on Market	74.0	96.0	49.5	50.0	69.5	75.0	45.0

<sup>1</sup> Sales / new listings \* 100; Compared to levels from previous periods.

<sup>2</sup> Active listings at month end / monthly sales; Compared to levels from previous periods.

<sup>3</sup> The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year.

<sup>4</sup> Sum of sales from January to current month / sum of new listings from January to current month.

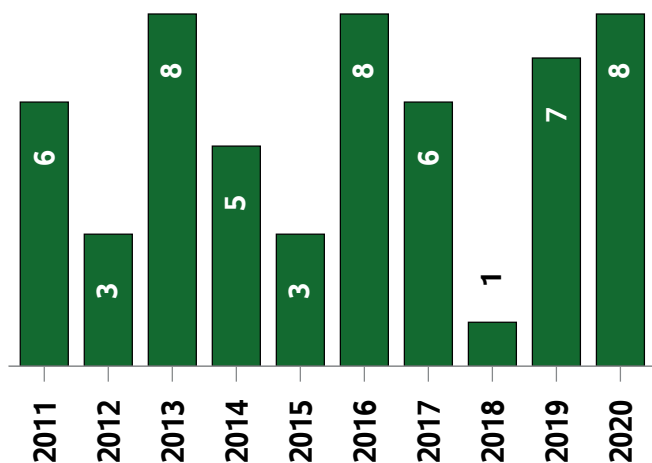
<sup>5</sup> The year-to-date months of inventory figure is calculated as: average active listings from January to current month / average sales from January to current month.

<sup>6</sup> Sales to new listings ratio, months of inventory and median days on market shown as levels; all others calculated as percentage changes.

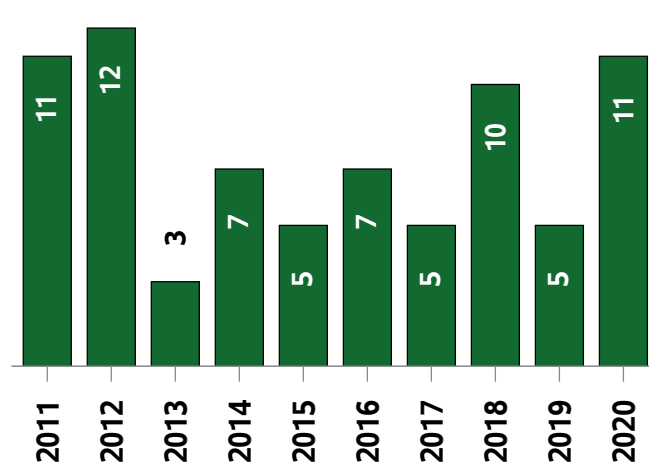


## Cranbrook Lakes MLS® Single Family Market Activity

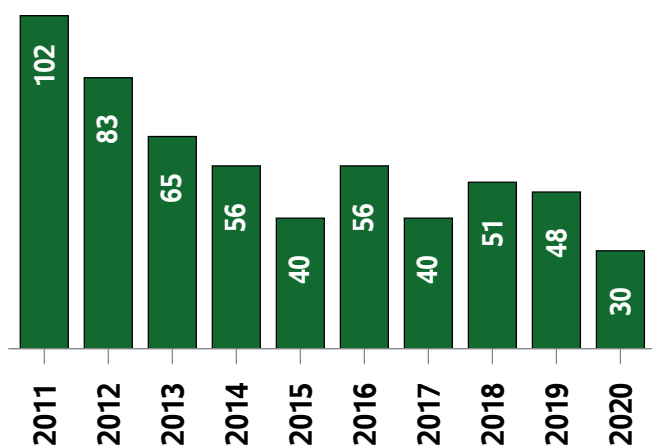
Sales Activity (October only)



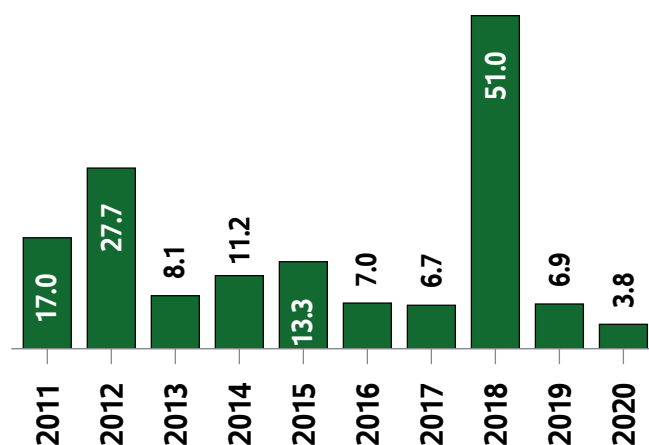
New Listings (October only)



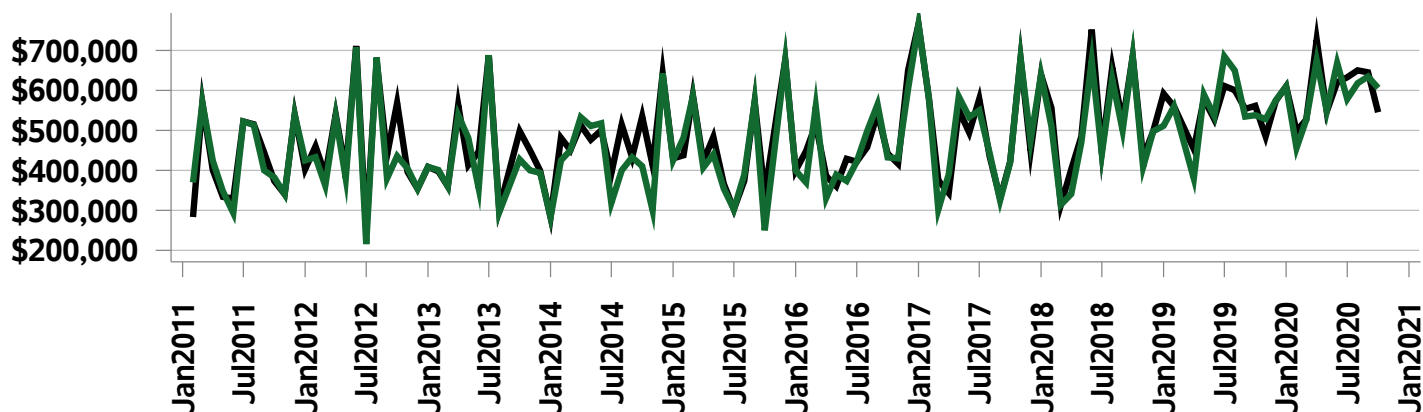
Active Listings (October only)



Months of Inventory (October only)



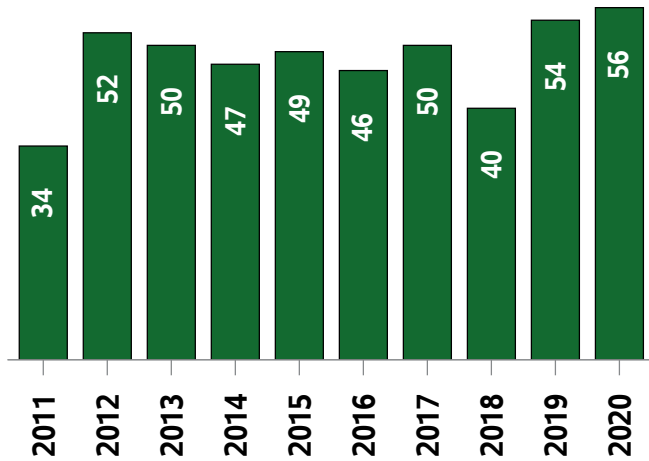
Average Price and Median Price



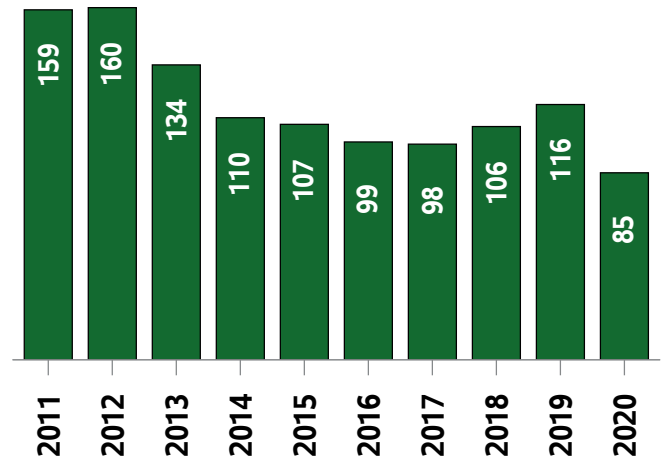
# Cranbrook Lakes

## MLS® Single Family Market Activity

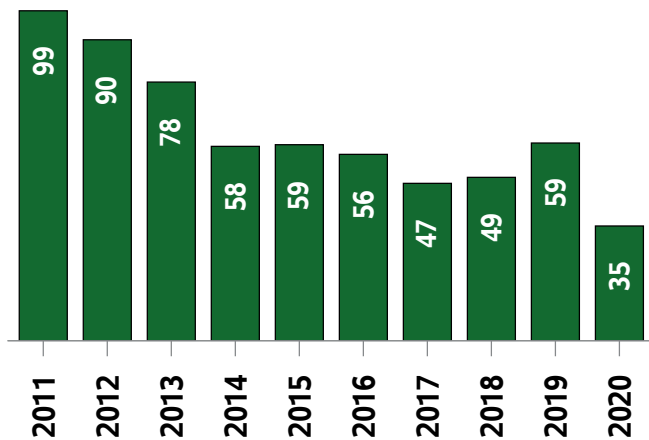
Sales Activity (October Year-to-date)



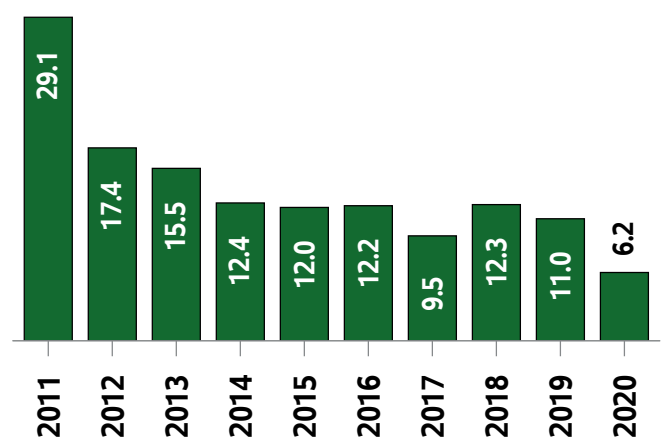
New Listings (October Year-to-date)



Active Listings <sup>1</sup> (October Year-to-date)



Months of Inventory <sup>2</sup> (October Year-to-date)



<sup>1</sup> The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year

<sup>2</sup> Average active listings January to the current month/average of sales January to the current month

# Cranbrook Lakes

## MLS® Single Family Market Activity

Actual	October 2020	Compared to <sup>6</sup>					
		October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Sales Activity	8	14.3	700.0	33.3	166.7	0.0	33.3
Dollar Volume	\$4,363,000	11.0	536.9	72.4	325.2	9.5	87.0
New Listings	11	120.0	10.0	120.0	120.0	266.7	10.0
Active Listings	30	-37.5	-41.2	-25.0	-25.0	-53.8	-64.3
Sales to New Listings Ratio <sup>1</sup>	72.7	140.0	10.0	120.0	60.0	266.7	60.0
Months of Inventory <sup>2</sup>	3.8	6.9	51.0	6.7	13.3	8.1	14.0
Average Price	\$545,375	-2.9	-20.4	29.3	59.5	9.5	40.3
Median Price	\$606,000	12.6	-11.5	44.3	142.4	41.8	77.1
Sales to List Price Ratio	94.0	95.9	97.9	97.2	95.9	92.2	95.8
Median Days on Market	58.5	136.0	27.0	87.0	24.0	154.5	96.0
Year-to-date	October 2020	Compared to <sup>6</sup>					
		October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Sales Activity	56	3.7	40.0	12.0	14.3	12.0	69.7
Dollar Volume	\$33,970,700	11.2	51.1	44.8	58.5	49.4	161.6
New Listings	85	-26.7	-19.8	-13.3	-20.6	-36.6	-54.1
Active Listings <sup>3</sup>	35	-41.9	-29.7	-27.1	-41.4	-55.6	-48.2
Sales to New Listings Ratio <sup>4</sup>	65.9	46.6	37.7	51.0	45.8	37.3	17.8
Months of Inventory <sup>5</sup>	6.2	11.0	12.3	9.5	12.0	15.5	20.2
Average Price	\$606,620	7.2	7.9	29.3	38.7	33.4	54.2
Median Price	\$603,250	4.9	19.0	27.3	43.6	49.7	57.5
Sales to List Price Ratio	96.6	97.0	97.0	97.0	96.5	95.5	95.3
Median Days on Market	74.0	93.0	49.5	51.0	79.0	82.0	45.0

<sup>1</sup> Sales / new listings \* 100; Compared to levels from previous periods.

<sup>2</sup> Active listings at month end / monthly sales; Compared to levels from previous periods.

<sup>3</sup> The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year.

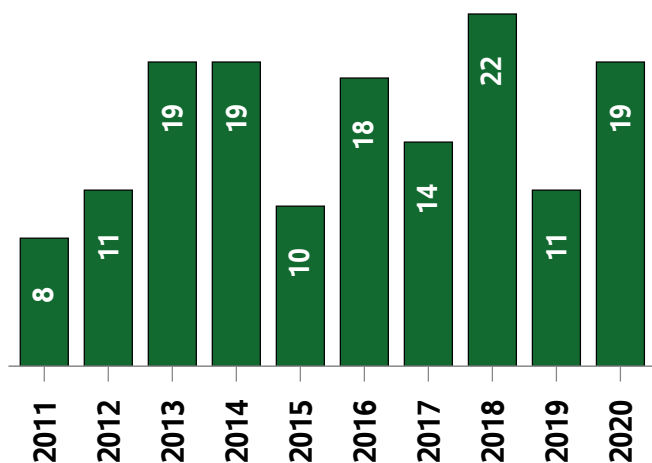
<sup>4</sup> Sum of sales from January to current month / sum of new listings from January to current month.

<sup>5</sup> The year-to-date months of inventory figure is calculated as: average active listings from January to current month / average sales from January to current month.

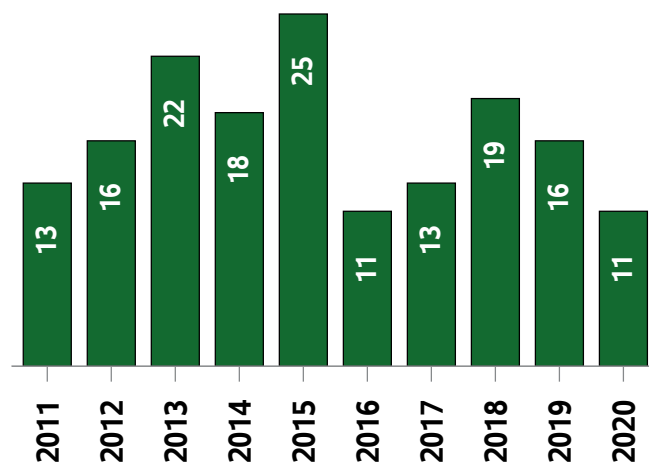
<sup>6</sup> Sales to new listings ratio, months of inventory and median days on market shown as levels; all others calculated as percentage changes.

## Fernie MLS® Residential Market Activity

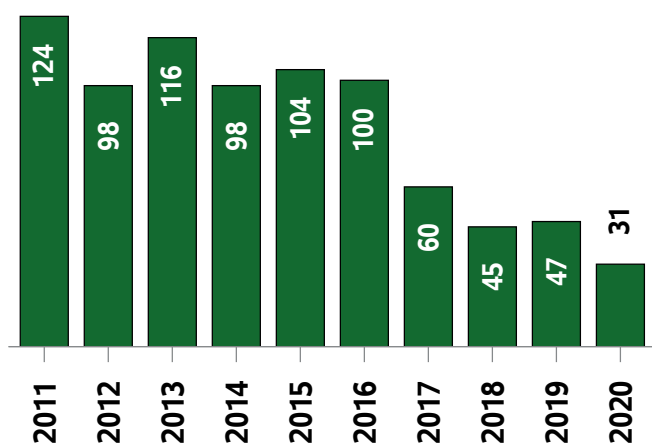
Sales Activity (October only)



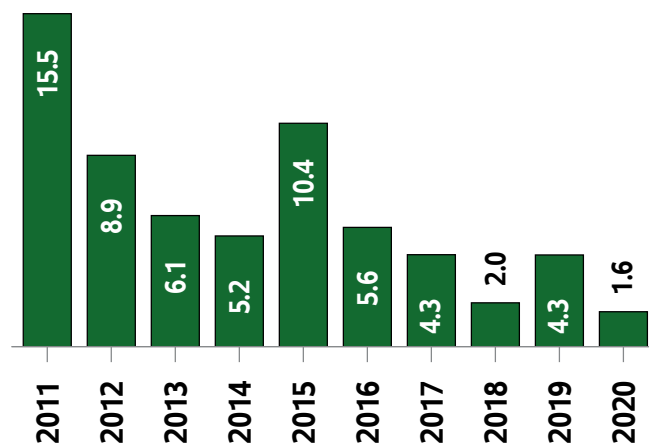
New Listings (October only)



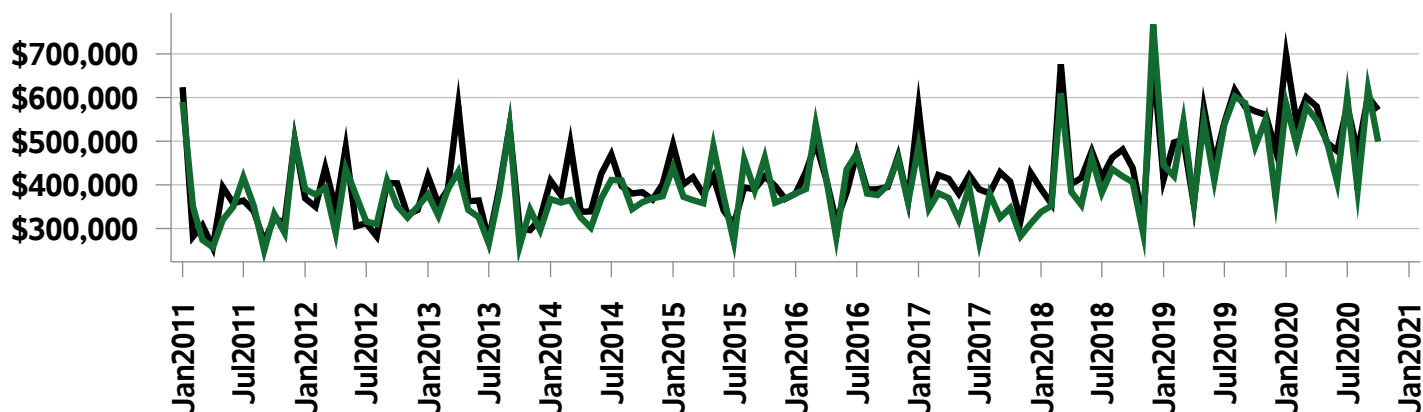
Active Listings (October only)



Months of Inventory (October only)



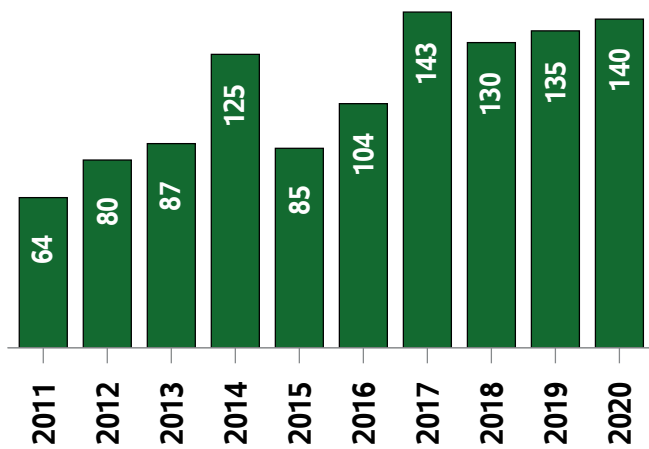
Average Price and Median Price



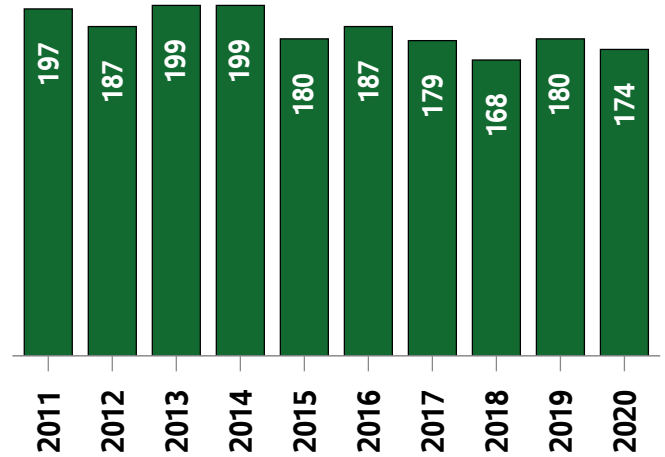
# Fernie

## MLS® Residential Market Activity

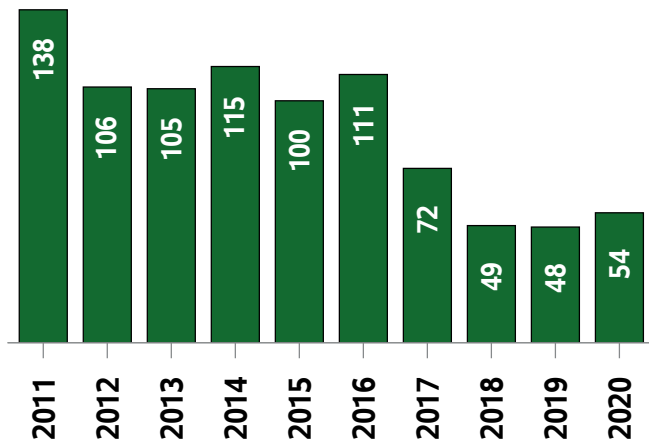
Sales Activity (October Year-to-date)



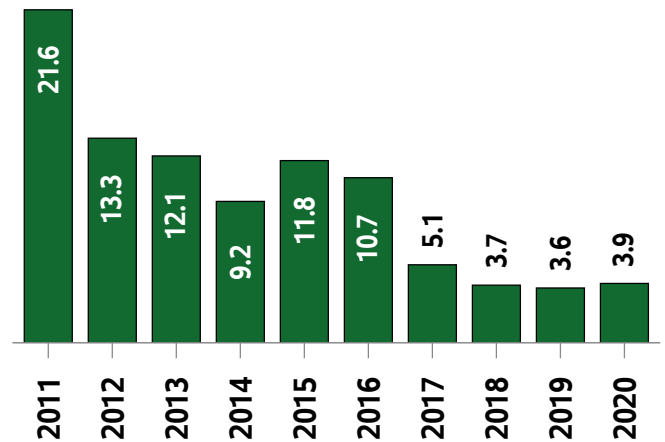
New Listings (October Year-to-date)



Active Listings <sup>1</sup> (October Year-to-date)



Months of Inventory <sup>2</sup> (October Year-to-date)



<sup>1</sup> The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year

<sup>2</sup> Average active listings January to the current month/average of sales January to the current month

# Fernie

## MLS® Residential Market Activity

Actual	October 2020	Compared to <sup>6</sup>					
		October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Sales Activity	19	72.7	-13.6	35.7	90.0	0.0	35.7
Dollar Volume	\$10,856,800	73.6	12.5	90.3	159.1	89.6	132.9
New Listings	11	-31.3	-42.1	-15.4	-56.0	-50.0	-45.0
Active Listings	31	-34.0	-31.1	-48.3	-70.2	-73.3	-75.2
Sales to New Listings Ratio <sup>1</sup>	172.7	68.8	115.8	107.7	40.0	86.4	70.0
Months of Inventory <sup>2</sup>	1.6	4.3	2.0	4.3	10.4	6.1	8.9
Average Price	\$571,411	0.5	30.3	40.2	36.4	89.6	71.6
Median Price	\$499,000	2.3	22.8	43.8	7.9	91.9	55.3
Sales to List Price Ratio	98.7	97.9	97.1	97.7	96.1	95.5	93.7
Median Days on Market	34.0	59.0	48.0	72.5	74.5	84.0	46.5
Year-to-date	October 2020	Compared to <sup>6</sup>					
		October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Sales Activity	140	3.7	7.7	-2.1	64.7	60.9	86.7
Dollar Volume	\$77,208,185	10.0	32.4	30.4	134.4	143.6	199.0
New Listings	174	-3.3	3.6	-2.8	-3.3	-12.6	-33.8
Active Listings <sup>3</sup>	54	12.3	10.9	-25.4	-46.3	-48.8	-43.4
Sales to New Listings Ratio <sup>4</sup>	80.5	75.0	77.4	79.9	47.2	43.7	28.5
Months of Inventory <sup>5</sup>	3.9	3.6	3.7	5.1	11.8	12.1	12.7
Average Price	\$551,487	6.1	22.9	33.2	42.3	51.4	60.2
Median Price	\$538,500	17.3	28.9	45.9	39.9	57.5	62.0
Sales to List Price Ratio	97.8	97.7	97.4	96.9	95.3	95.3	94.9
Median Days on Market	51.5	44.0	38.5	76.0	79.0	68.0	29.0

<sup>1</sup> Sales / new listings \* 100; Compared to levels from previous periods.

<sup>2</sup> Active listings at month end / monthly sales; Compared to levels from previous periods.

<sup>3</sup> The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year.

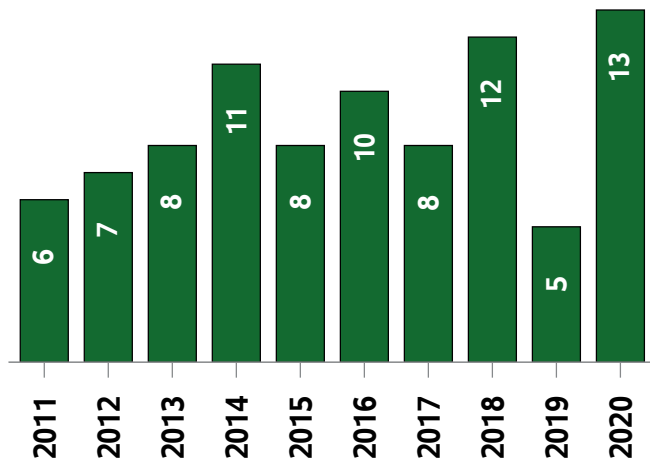
<sup>4</sup> Sum of sales from January to current month / sum of new listings from January to current month.

<sup>5</sup> The year-to-date months of inventory figure is calculated as: average active listings from January to current month / average sales from January to current month.

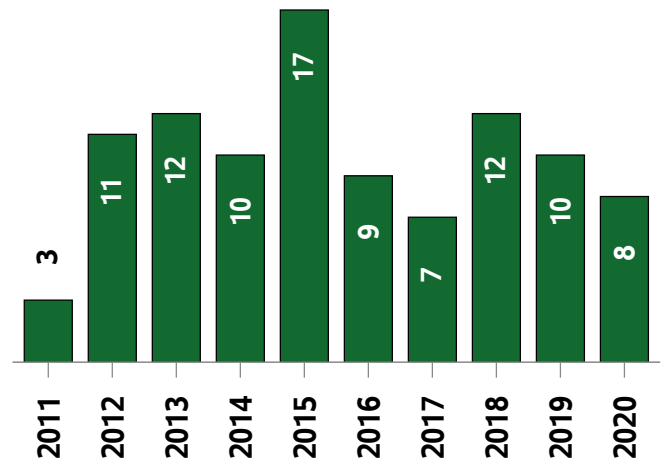
<sup>6</sup> Sales to new listings ratio, months of inventory and median days on market shown as levels; all others calculated as percentage changes.

## Fernie MLS® Single Family Market Activity

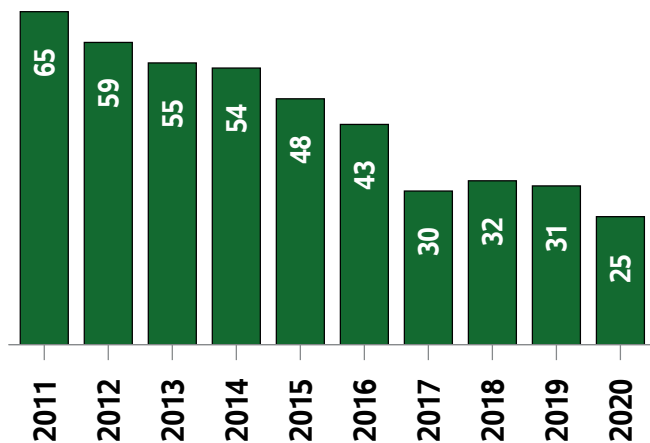
Sales Activity (October only)



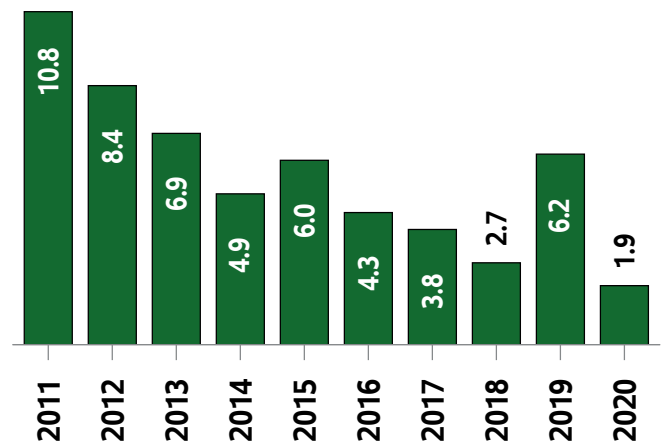
New Listings (October only)



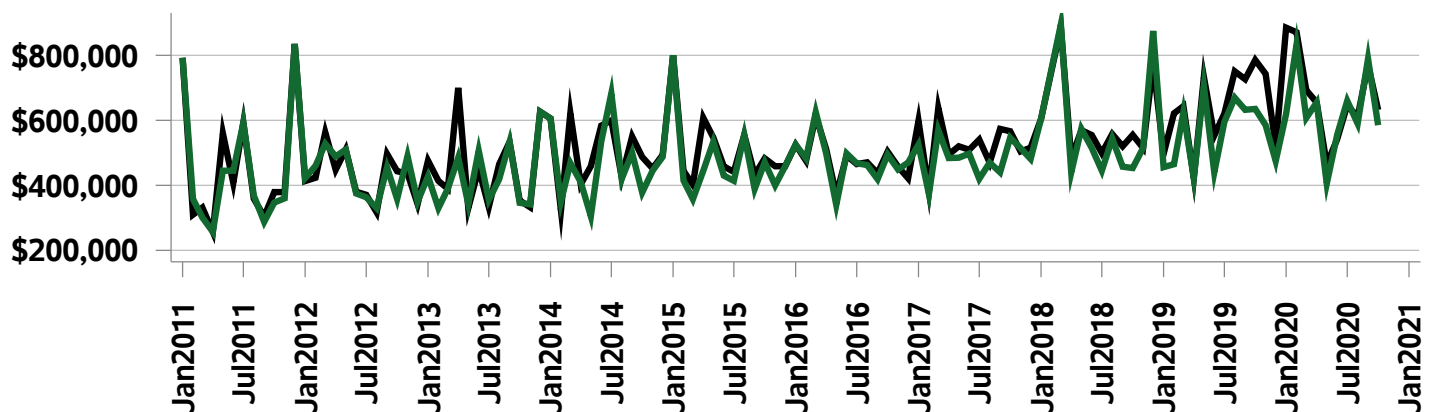
Active Listings (October only)



Months of Inventory (October only)

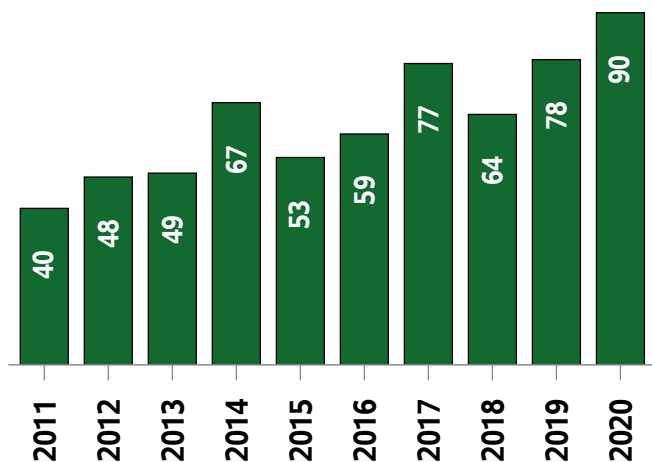


Average Price and Median Price

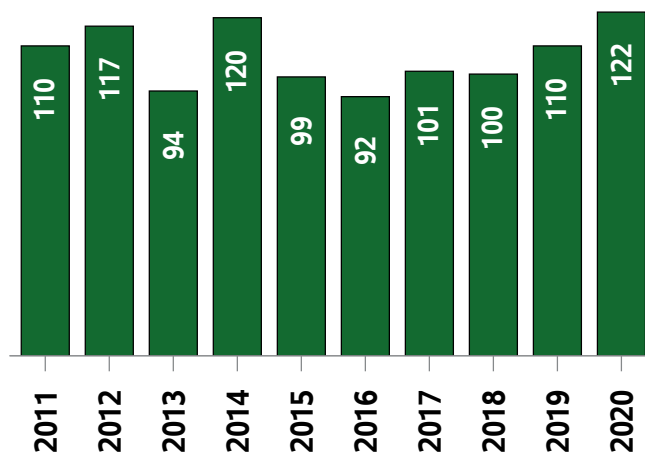


## Fernie MLS® Single Family Market Activity

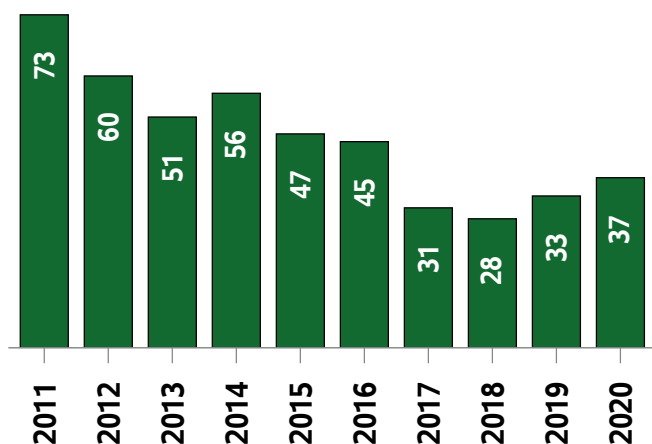
Sales Activity (October Year-to-date)



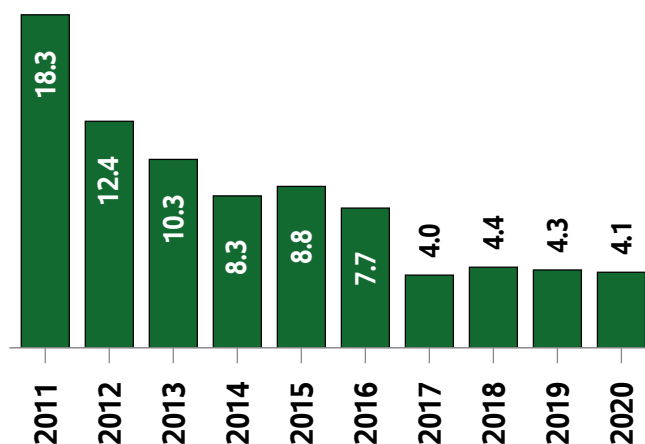
New Listings (October Year-to-date)



Active Listings <sup>1</sup> (October Year-to-date)



Months of Inventory <sup>2</sup> (October Year-to-date)



<sup>1</sup> The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year

<sup>2</sup> Average active listings January to the current month/average of sales January to the current month



## Fernie MLS® Single Family Market Activity

Actual	October 2020	Compared to <sup>6</sup>					
		October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Sales Activity	13	160.0	8.3	62.5	62.5	62.5	30.0
Dollar Volume	\$8,216,000	109.2	23.3	81.3	112.7	190.5	103.1
New Listings	8	-20.0	-33.3	14.3	-52.9	-33.3	-42.9
Active Listings	25	-19.4	-21.9	-16.7	-47.9	-54.5	-63.8
Sales to New Listings Ratio <sup>1</sup>	162.5	50.0	100.0	114.3	47.1	66.7	71.4
Months of Inventory <sup>2</sup>	1.9	6.2	2.7	3.8	6.0	6.9	6.9
Average Price	\$632,000	-19.6	13.9	11.6	30.9	78.8	56.2
Median Price	\$585,000	-7.9	29.1	7.0	24.2	69.0	57.0
Sales to List Price Ratio	98.3	96.8	96.9	98.6	99.5	97.0	93.9
Median Days on Market	34.0	65.0	59.0	36.0	47.5	79.5	37.0
Year-to-date	October 2020	Compared to <sup>6</sup>					
		October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Sales Activity	90	15.4	40.6	16.9	69.8	83.7	95.7
Dollar Volume	\$59,625,300	17.8	68.4	44.4	134.1	183.3	229.3
New Listings	122	10.9	22.0	20.8	23.2	29.8	-18.1
Active Listings <sup>3</sup>	37	12.0	31.8	21.5	-20.5	-26.3	-22.9
Sales to New Listings Ratio <sup>4</sup>	73.8	70.9	64.0	76.2	53.5	52.1	30.9
Months of Inventory <sup>5</sup>	4.1	4.3	4.4	4.0	8.8	10.3	10.5
Average Price	\$662,503	2.1	19.8	23.6	37.9	54.2	68.3
Median Price	\$620,000	2.9	17.8	24.6	44.2	63.2	69.9
Sales to List Price Ratio	97.4	97.4	97.6	97.3	97.0	95.8	95.2
Median Days on Market	59.0	56.0	36.0	48.0	56.0	96.0	24.0

<sup>1</sup> Sales / new listings \* 100; Compared to levels from previous periods.

<sup>2</sup> Active listings at month end / monthly sales; Compared to levels from previous periods.

<sup>3</sup> The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year.

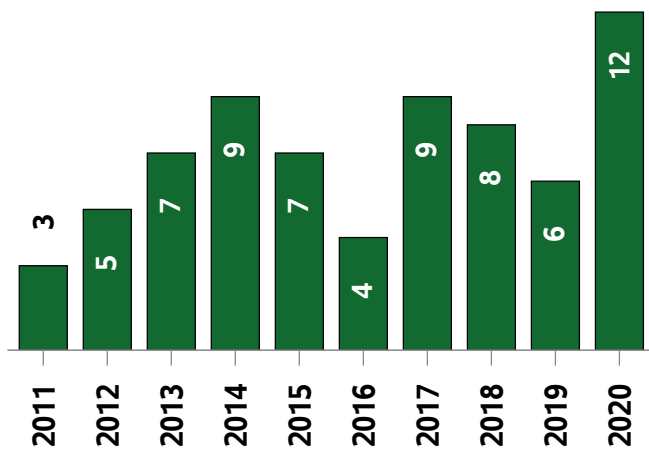
<sup>4</sup> Sum of sales from January to current month / sum of new listings from January to current month.

<sup>5</sup> The year-to-date months of inventory figure is calculated as: average active listings from January to current month / average sales from January to current month.

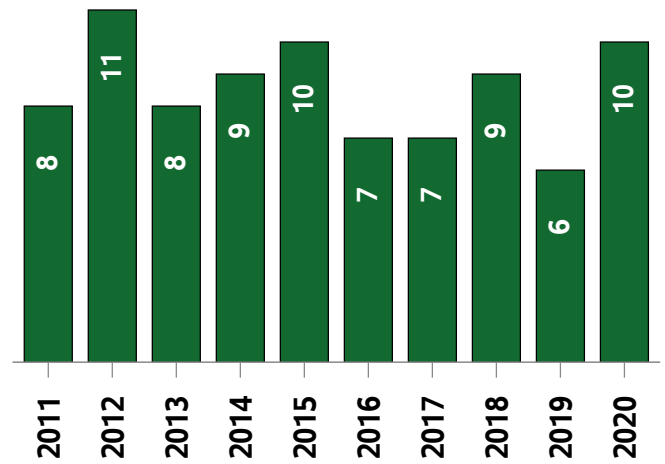
<sup>6</sup> Sales to new listings ratio, months of inventory and median days on market shown as levels; all others calculated as percentage changes.

## Grand Forks MLS® Residential Market Activity

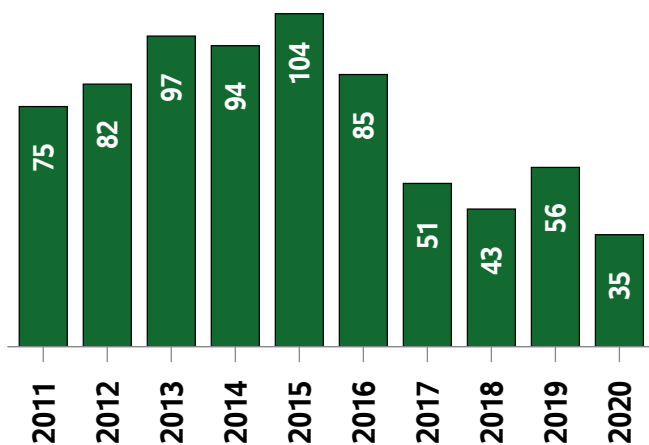
Sales Activity (October only)



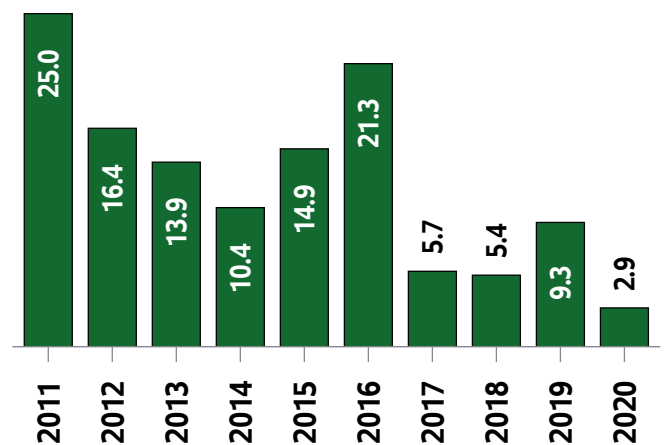
New Listings (October only)



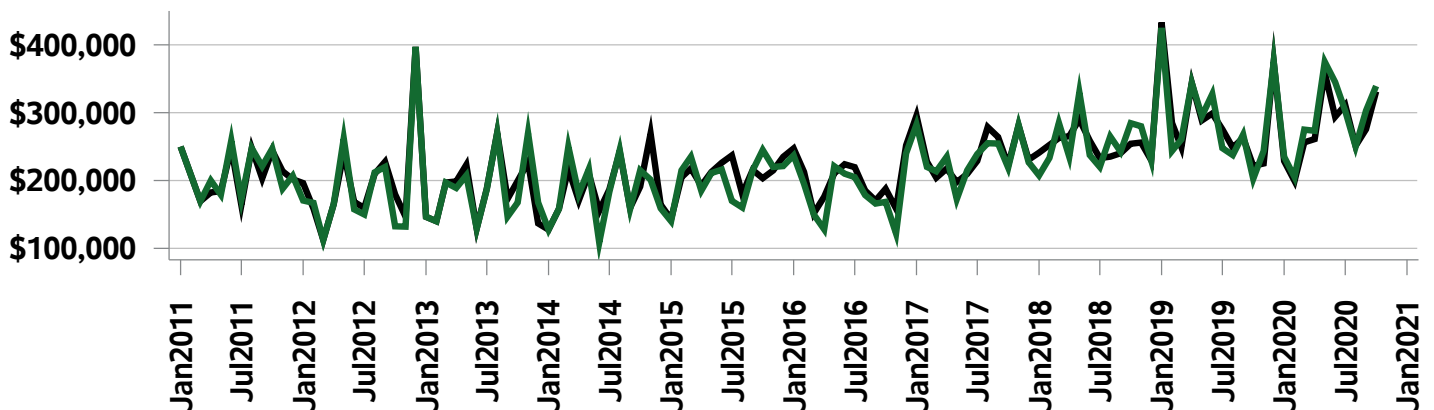
Active Listings (October only)



Months of Inventory (October only)

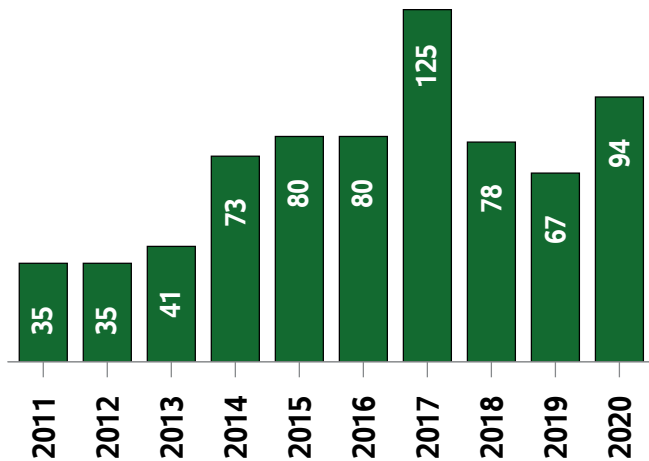


Average Price and Median Price

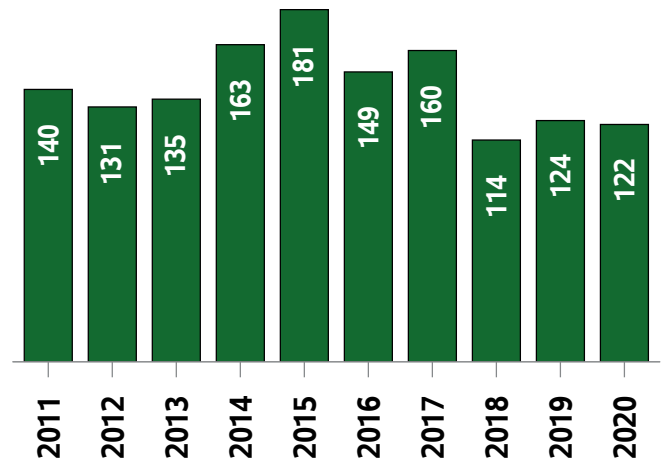


# Grand Forks MLS® Residential Market Activity

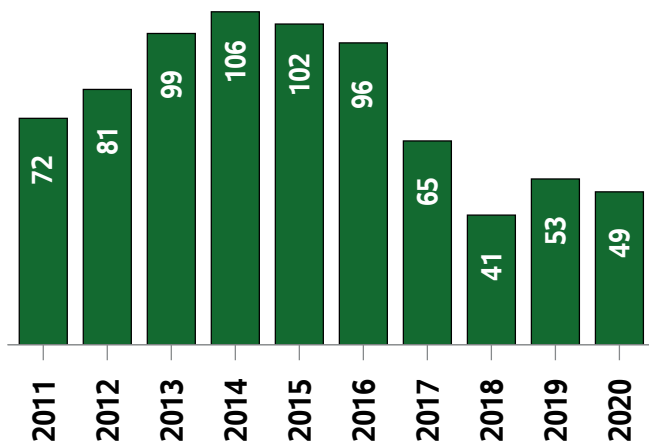
Sales Activity (October Year-to-date)



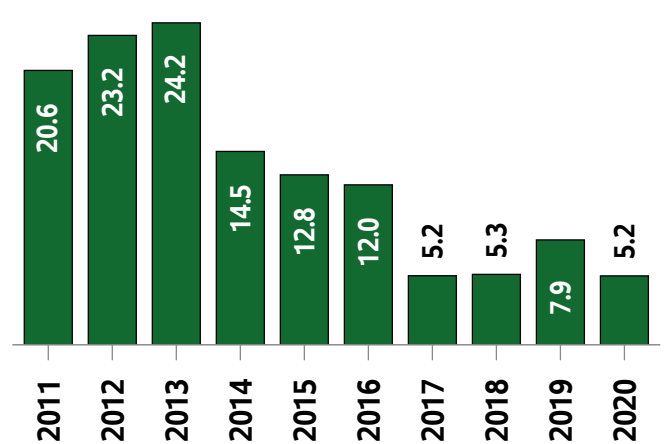
New Listings (October Year-to-date)



Active Listings <sup>1</sup> (October Year-to-date)



Months of Inventory <sup>2</sup> (October Year-to-date)



<sup>1</sup> The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year

<sup>2</sup> Average active listings January to the current month/average of sales January to the current month

# Grand Forks

## MLS® Residential Market Activity

Actual	October 2020	Compared to <sup>6</sup>					
		October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Sales Activity	12	100.0	50.0	33.3	71.4	71.4	140.0
Dollar Volume	\$3,975,000	199.1	95.5	98.5	179.2	184.9	363.8
New Listings	10	66.7	11.1	42.9	0.0	25.0	0.0
Active Listings	35	-37.5	-18.6	-31.4	-66.3	-63.9	-39.7
Sales to New Listings Ratio <sup>1</sup>	120.0	100.0	88.9	128.6	70.0	87.5	50.0
Months of Inventory <sup>2</sup>	2.9	9.3	5.4	5.7	14.9	13.9	11.6
Average Price	\$331,250	49.6	30.3	48.9	62.9	66.2	93.3
Median Price	\$339,250	67.5	19.2	54.9	38.5	102.5	93.9
Sales to List Price Ratio	96.6	95.6	96.8	97.2	93.9	94.7	87.7
Median Days on Market	54.0	26.5	91.0	59.0	206.0	215.0	32.0
Year-to-date	October 2020	Compared to <sup>6</sup>					
		October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Sales Activity	94	40.3	20.5	-24.8	17.5	129.3	129.3
Dollar Volume	\$26,665,018	42.5	33.9	-8.4	61.4	246.7	223.2
New Listings	122	-1.6	7.0	-23.8	-32.6	-9.6	-9.0
Active Listings <sup>3</sup>	49	-7.8	17.9	-25.0	-52.3	-50.9	8.7
Sales to New Listings Ratio <sup>4</sup>	77.0	54.0	68.4	78.1	44.2	30.4	30.6
Months of Inventory <sup>5</sup>	5.2	7.9	5.3	5.2	12.8	24.2	10.9
Average Price	\$283,670	1.6	11.1	21.8	37.3	51.2	41.0
Median Price	\$285,500	7.7	16.3	24.7	36.0	59.1	39.3
Sales to List Price Ratio	96.3	96.2	96.2	95.9	93.1	95.1	93.0
Median Days on Market	66.0	55.0	49.5	63.0	99.0	123.0	38.0

<sup>1</sup> Sales / new listings \* 100; Compared to levels from previous periods.

<sup>2</sup> Active listings at month end / monthly sales; Compared to levels from previous periods.

<sup>3</sup> The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year.

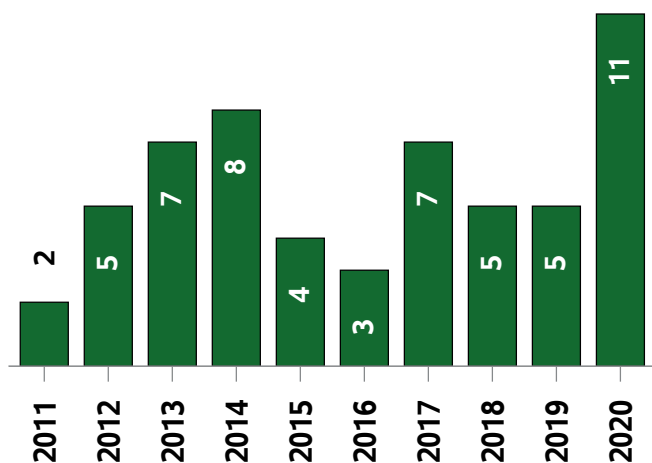
<sup>4</sup> Sum of sales from January to current month / sum of new listings from January to current month.

<sup>5</sup> The year-to-date months of inventory figure is calculated as: average active listings from January to current month / average sales from January to current month.

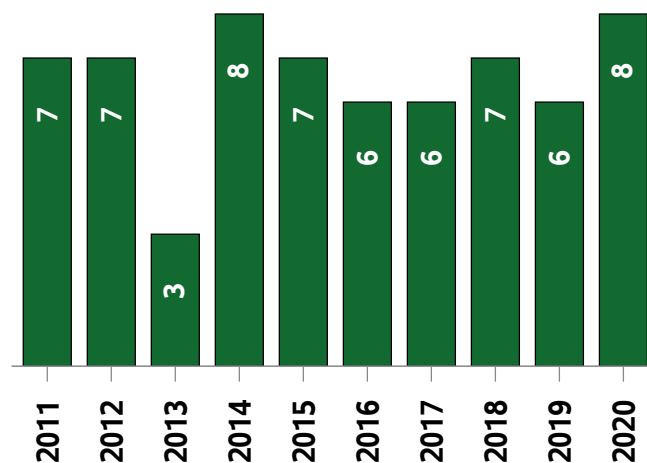
<sup>6</sup> Sales to new listings ratio, months of inventory and median days on market shown as levels; all others calculated as percentage changes.

## Grand Forks MLS® Single Family Market Activity

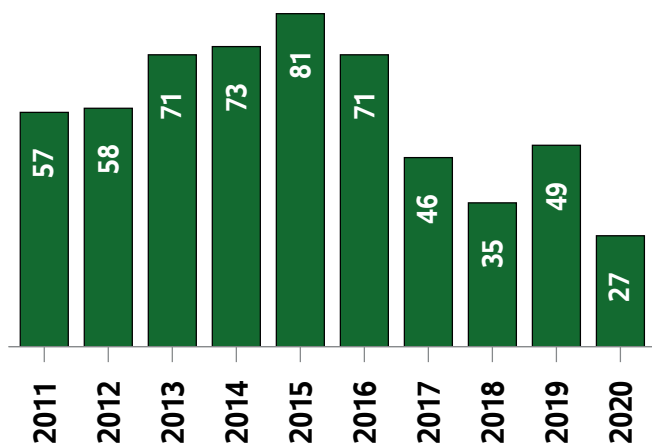
Sales Activity (October only)



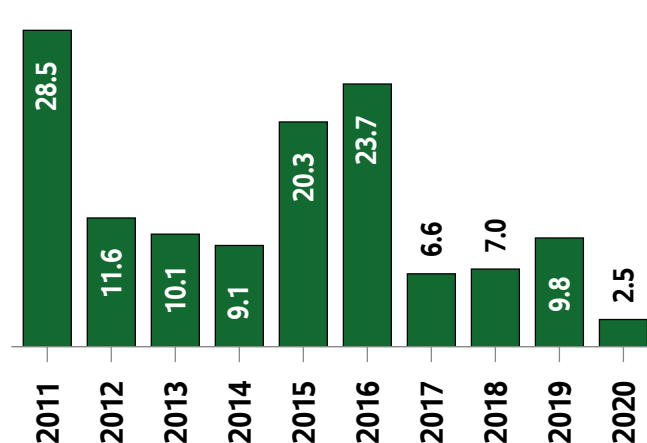
New Listings (October only)



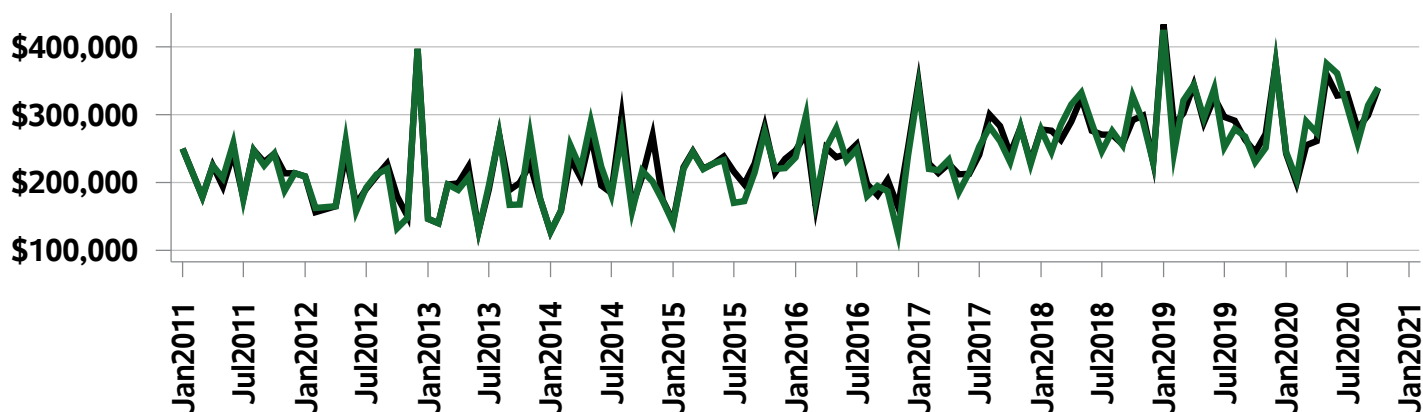
Active Listings (October only)



Months of Inventory (October only)

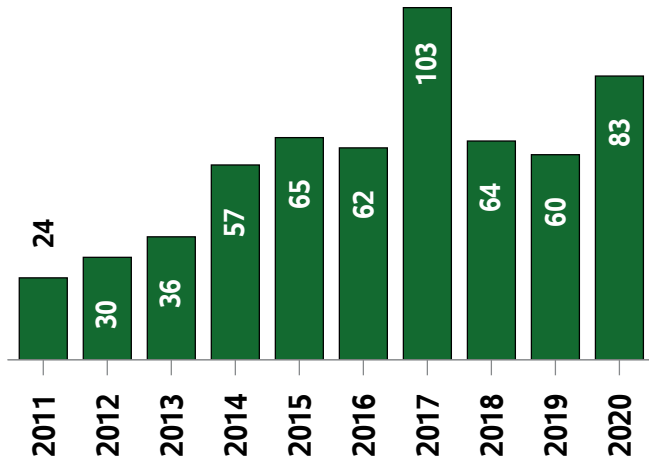


Average Price and Median Price

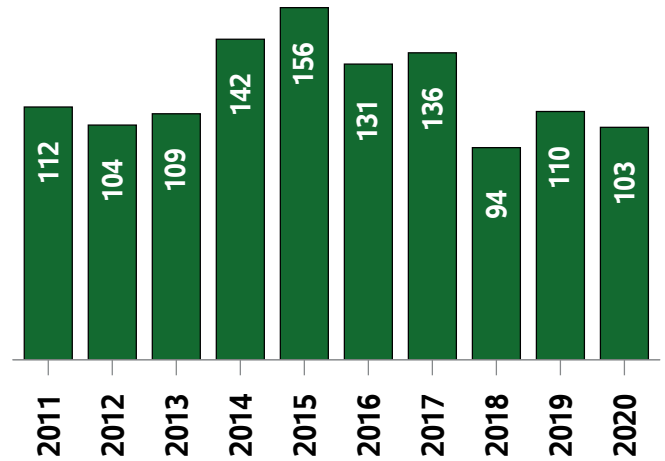


# Grand Forks MLS® Single Family Market Activity

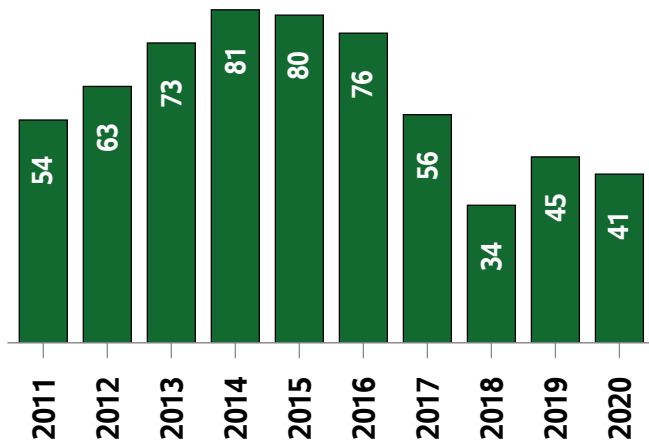
Sales Activity (October Year-to-date)



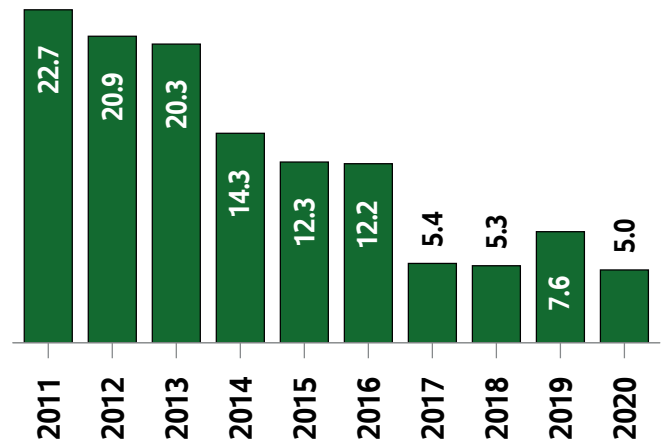
New Listings (October Year-to-date)



Active Listings <sup>1</sup> (October Year-to-date)



Months of Inventory <sup>2</sup> (October Year-to-date)



<sup>1</sup> The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year

<sup>2</sup> Average active listings January to the current month/average of sales January to the current month

# Grand Forks

## MLS® Single Family Market Activity

Actual	October 2020	Compared to <sup>6</sup>					
		October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Sales Activity	11	120.0	120.0	57.1	175.0	57.1	120.0
Dollar Volume	\$3,730,000	204.8	155.4	119.7	229.9	167.3	335.2
New Listings	8	33.3	14.3	33.3	14.3	166.7	60.0
Active Listings	27	-44.9	-22.9	-41.3	-66.7	-62.0	-32.5
Sales to New Listings Ratio <sup>1</sup>	137.5	83.3	71.4	116.7	57.1	233.3	100.0
Months of Inventory <sup>2</sup>	2.5	9.8	7.0	6.6	20.3	10.1	8.0
Average Price	\$339,091	38.5	16.1	39.8	20.0	70.1	97.8
Median Price	\$340,000	47.8	3.8	47.8	23.7	103.0	94.3
Sales to List Price Ratio	96.6	93.5	95.0	96.8	96.0	94.7	87.7
Median Days on Market	55.0	28.0	99.0	46.0	193.0	215.0	32.0
Year-to-date	October 2020	Compared to <sup>6</sup>					
		October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Sales Activity	83	38.3	29.7	-19.4	27.7	130.6	130.6
Dollar Volume	\$24,910,018	39.8	40.3	-2.4	73.5	259.3	226.9
New Listings	103	-6.4	9.6	-24.3	-34.0	-5.5	-4.6
Active Listings <sup>3</sup>	41	-9.3	22.6	-26.0	-48.5	-43.7	15.4
Sales to New Listings Ratio <sup>4</sup>	80.6	54.5	68.1	75.7	41.7	33.0	33.3
Months of Inventory <sup>5</sup>	5.0	7.6	5.3	5.4	12.3	20.3	9.9
Average Price	\$300,121	1.1	8.2	21.2	35.8	55.8	41.8
Median Price	\$302,600	4.2	5.8	27.4	40.1	63.1	40.3
Sales to List Price Ratio	96.4	96.4	96.0	95.9	93.9	94.9	93.3
Median Days on Market	66.0	62.0	50.5	63.0	97.0	121.5	33.5

<sup>1</sup> Sales / new listings \* 100; Compared to levels from previous periods.

<sup>2</sup> Active listings at month end / monthly sales; Compared to levels from previous periods.

<sup>3</sup> The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year.

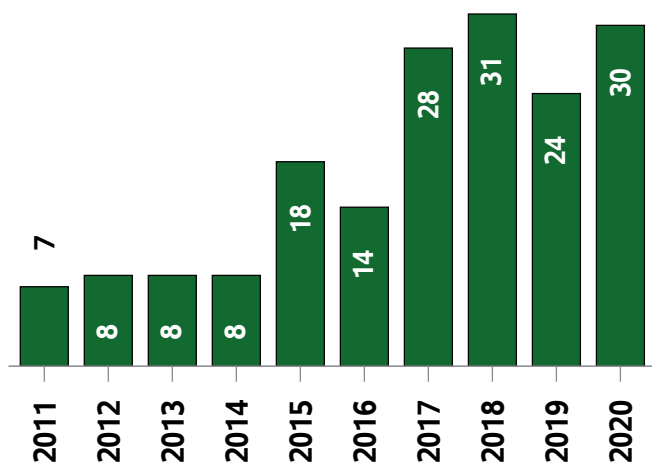
<sup>4</sup> Sum of sales from January to current month / sum of new listings from January to current month.

<sup>5</sup> The year-to-date months of inventory figure is calculated as: average active listings from January to current month / average sales from January to current month.

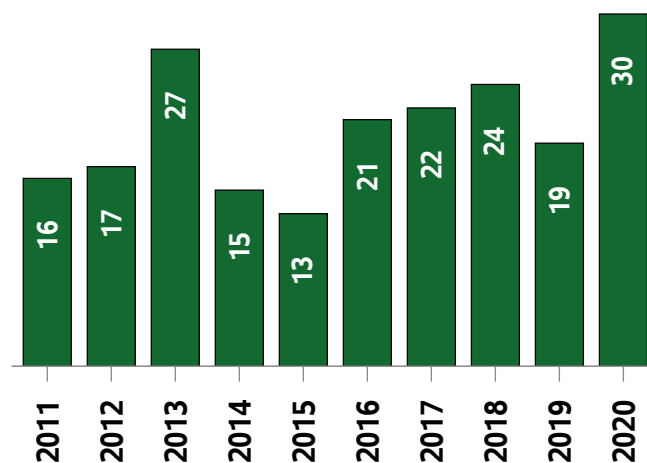
<sup>6</sup> Sales to new listings ratio, months of inventory and median days on market shown as levels; all others calculated as percentage changes.

## Kimberley MLS® Residential Market Activity

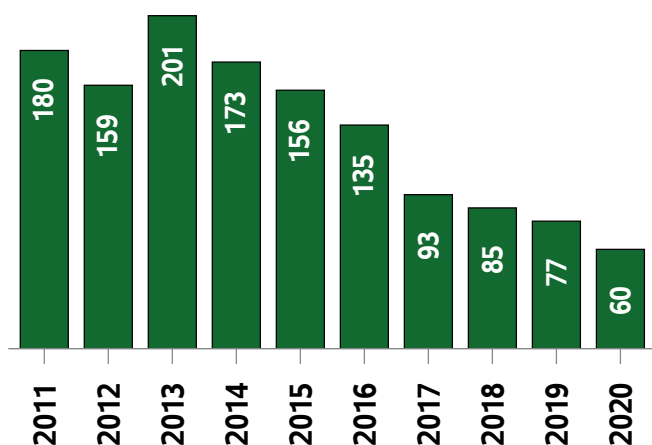
Sales Activity (October only)



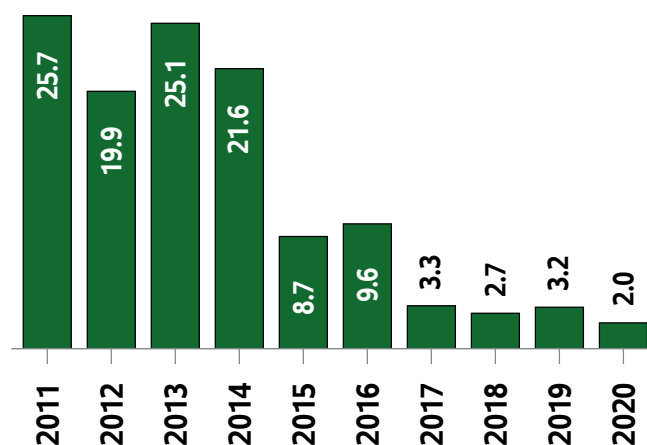
New Listings (October only)



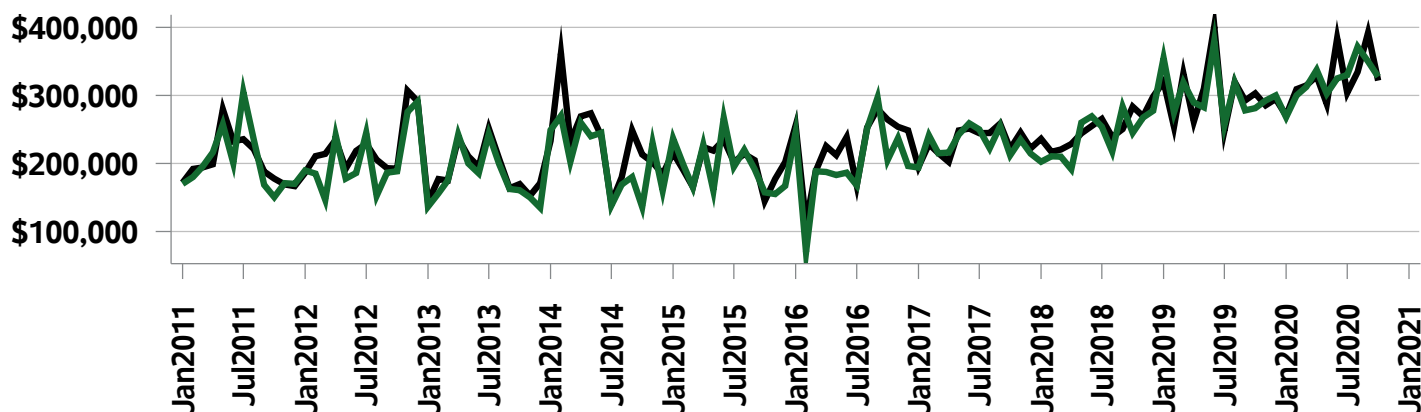
Active Listings (October only)



Months of Inventory (October only)



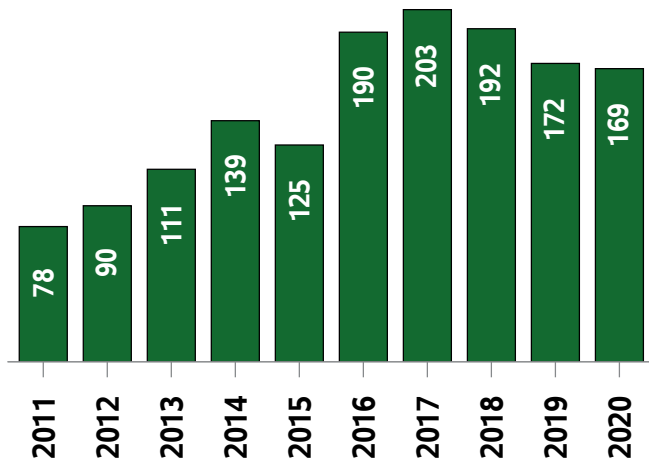
Average Price and Median Price



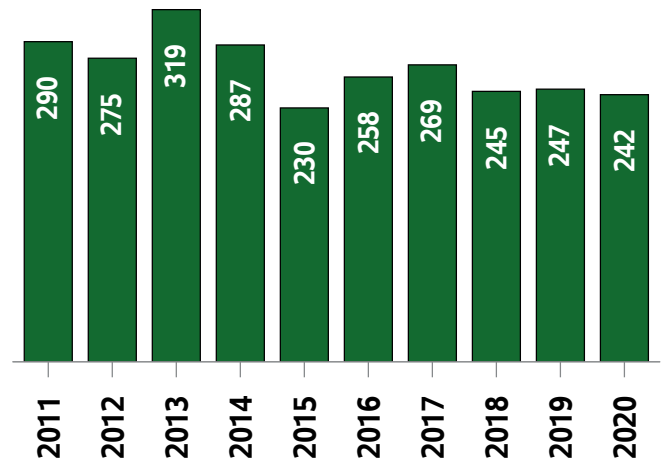


# Kimberley MLS® Residential Market Activity

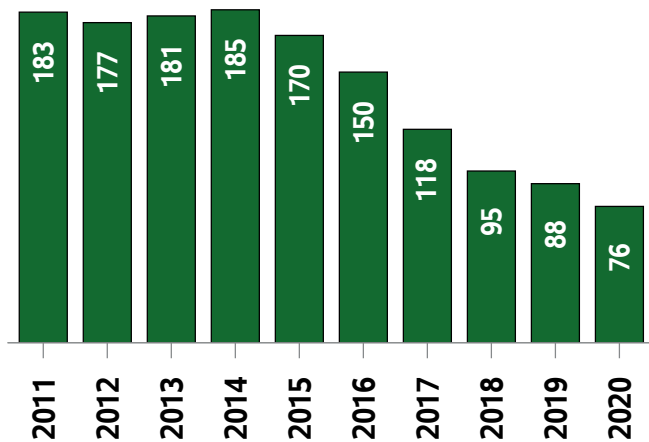
Sales Activity (October Year-to-date)



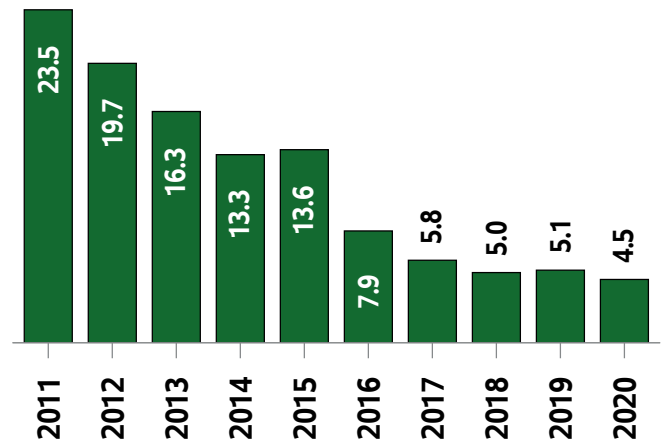
New Listings (October Year-to-date)



Active Listings <sup>1</sup> (October Year-to-date)



Months of Inventory <sup>2</sup> (October Year-to-date)



<sup>1</sup> The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year

<sup>2</sup> Average active listings January to the current month/average of sales January to the current month

# Kimberley

## MLS® Residential Market Activity

Actual	October 2020	Compared to <sup>6</sup>					
		October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Sales Activity	30	25.0	-3.2	7.1	66.7	275.0	900.0
Dollar Volume	\$9,653,440	32.8	9.9	55.7	270.2	611.0	1,756.4
New Listings	30	57.9	25.0	36.4	130.8	11.1	66.7
Active Listings	60	-22.1	-29.4	-35.5	-61.5	-70.1	-60.5
Sales to New Listings Ratio <sup>1</sup>	100.0	126.3	129.2	127.3	138.5	29.6	16.7
Months of Inventory <sup>2</sup>	2.0	3.2	2.7	3.3	8.7	25.1	50.7
Average Price	\$321,781	6.2	13.5	45.3	122.1	89.6	85.6
Median Price	\$327,450	16.4	33.7	54.5	107.9	103.8	67.9
Sales to List Price Ratio	96.2	92.6	94.6	94.7	97.9	92.6	90.4
Median Days on Market	66.0	94.0	51.0	69.0	108.5	151.0	92.0
Year-to-date	October 2020	Compared to <sup>6</sup>					
		October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Sales Activity	169	-1.7	-12.0	-16.7	35.2	52.3	344.7
Dollar Volume	\$55,511,332	6.3	16.7	16.7	122.1	146.7	592.9
New Listings	242	-2.0	-1.2	-10.0	5.2	-24.1	-26.9
Active Listings <sup>3</sup>	76	-14.3	-20.6	-36.1	-55.6	-58.3	-44.8
Sales to New Listings Ratio <sup>4</sup>	69.8	69.6	78.4	75.5	54.3	34.8	11.5
Months of Inventory <sup>5</sup>	4.5	5.1	5.0	5.8	13.6	16.3	36.1
Average Price	\$328,469	8.2	32.6	40.1	64.3	62.0	55.8
Median Price	\$320,000	8.8	36.2	37.9	68.4	68.4	68.4
Sales to List Price Ratio	96.2	95.2	95.0	95.7	94.7	93.9	94.0
Median Days on Market	61.0	52.0	45.0	59.0	92.0	101.0	52.5

<sup>1</sup> Sales / new listings \* 100; Compared to levels from previous periods.

<sup>2</sup> Active listings at month end / monthly sales; Compared to levels from previous periods.

<sup>3</sup> The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year.

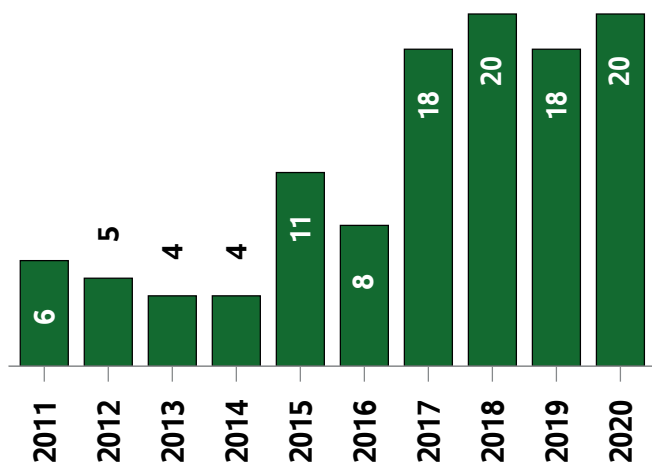
<sup>4</sup> Sum of sales from January to current month / sum of new listings from January to current month.

<sup>5</sup> The year-to-date months of inventory figure is calculated as: average active listings from January to current month / average sales from January to current month.

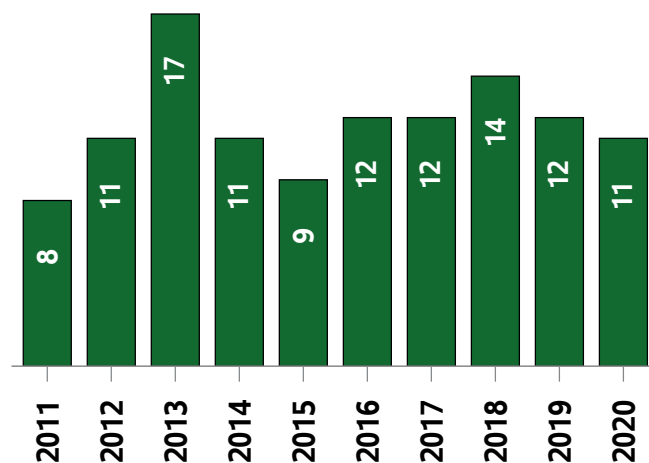
<sup>6</sup> Sales to new listings ratio, months of inventory and median days on market shown as levels; all others calculated as percentage changes.

## Kimberley MLS® Single Family Market Activity

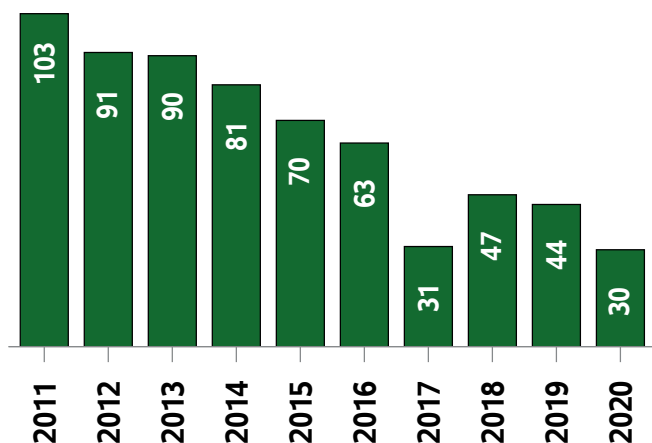
Sales Activity (October only)



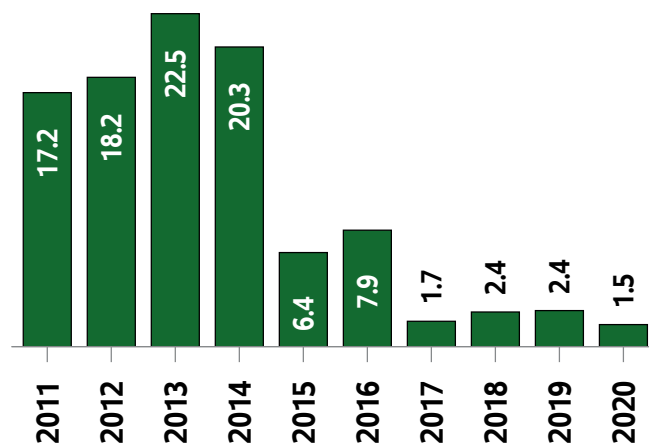
New Listings (October only)



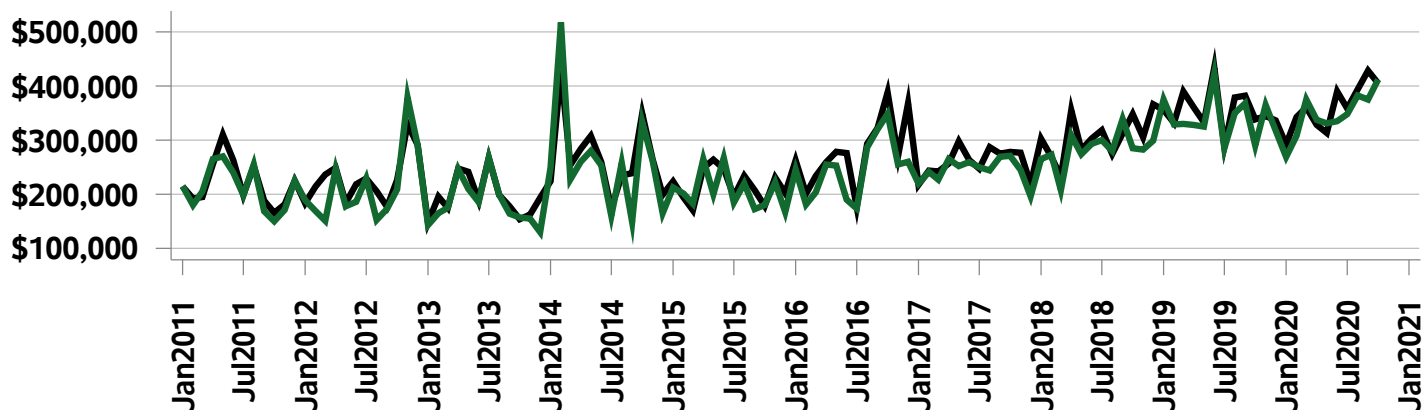
Active Listings (October only)



Months of Inventory (October only)

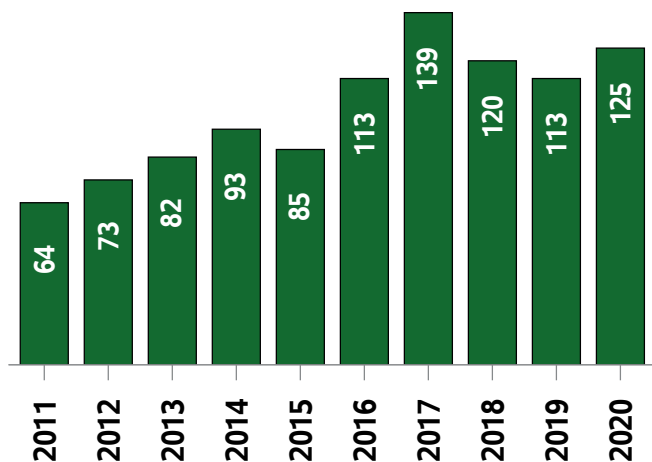


Average Price and Median Price

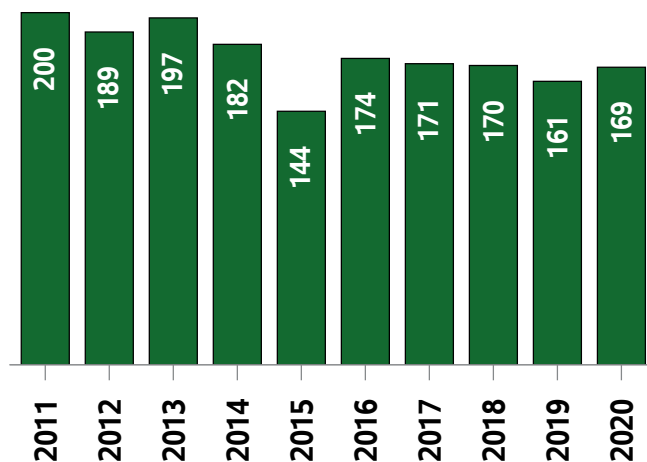


## Kimberley MLS® Single Family Market Activity

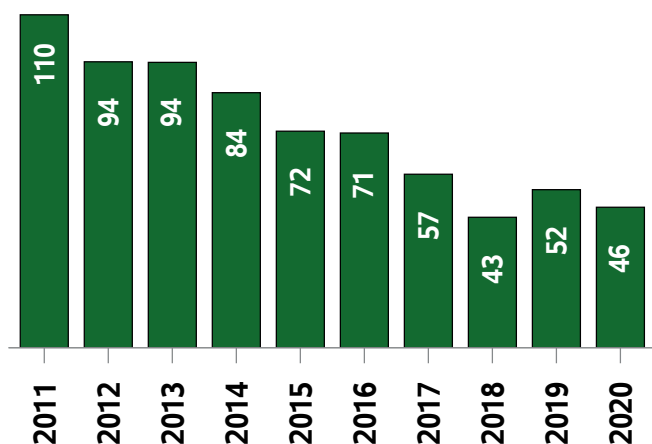
Sales Activity (October Year-to-date)



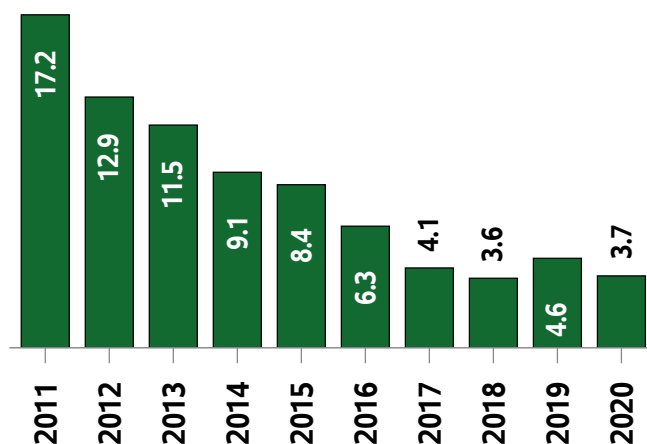
New Listings (October Year-to-date)



Active Listings <sup>1</sup> (October Year-to-date)



Months of Inventory <sup>2</sup> (October Year-to-date)



<sup>1</sup> The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year

<sup>2</sup> Average active listings January to the current month/average of sales January to the current month

# Kimberley

## MLS® Single Family Market Activity

Actual	October 2020	Compared to <sup>6</sup>					
		October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Sales Activity	20	11.1	0.0	11.1	81.8	400.0	566.7
Dollar Volume	\$8,101,755	33.0	16.3	61.8	313.1	1,216.7	1,458.0
New Listings	11	-8.3	-21.4	-8.3	22.2	-35.3	-8.3
Active Listings	30	-31.8	-36.2	-3.2	-57.1	-66.7	-71.2
Sales to New Listings Ratio <sup>1</sup>	181.8	150.0	142.9	150.0	122.2	23.5	25.0
Months of Inventory <sup>2</sup>	1.5	2.4	2.4	1.7	6.4	22.5	34.7
Average Price	\$405,088	19.7	16.3	45.6	127.2	163.3	133.7
Median Price	\$412,000	42.1	44.6	52.0	128.9	162.2	111.3
Sales to List Price Ratio	96.9	92.7	95.6	95.5	95.0	92.6	90.4
Median Days on Market	65.5	94.0	45.0	35.5	83.0	87.5	92.0
Year-to-date	October 2020	Compared to <sup>6</sup>					
		October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Sales Activity	125	10.6	4.2	-10.1	47.1	52.4	278.8
Dollar Volume	\$46,979,490	16.4	27.8	26.8	157.5	169.4	537.7
New Listings	169	5.0	-0.6	-1.2	17.4	-14.2	-26.8
Active Listings <sup>3</sup>	46	-11.1	7.7	-19.0	-35.1	-50.7	-50.3
Sales to New Listings Ratio <sup>4</sup>	74.0	70.2	70.6	81.3	59.0	41.6	14.3
Months of Inventory <sup>5</sup>	3.7	4.6	3.6	4.1	8.4	11.5	28.3
Average Price	\$375,836	5.2	22.7	41.0	75.1	76.7	68.4
Median Price	\$357,000	5.9	26.5	42.8	78.5	84.1	83.1
Sales to List Price Ratio	97.1	95.9	96.6	96.4	94.7	95.0	93.9
Median Days on Market	49.0	52.0	33.0	51.0	74.0	78.5	55.0

<sup>1</sup> Sales / new listings \* 100; Compared to levels from previous periods.

<sup>2</sup> Active listings at month end / monthly sales; Compared to levels from previous periods.

<sup>3</sup> The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year.

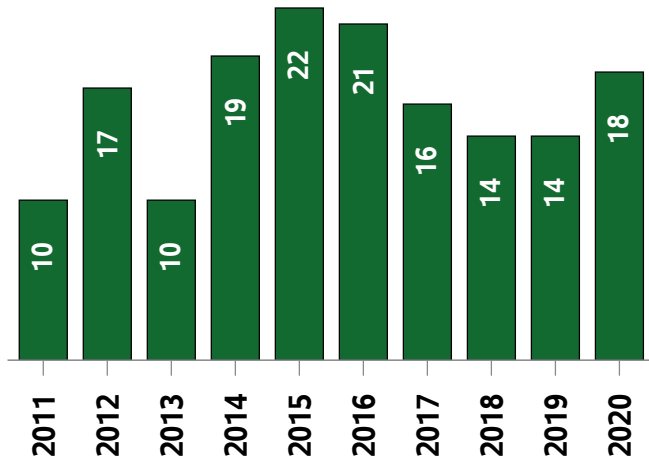
<sup>4</sup> Sum of sales from January to current month / sum of new listings from January to current month.

<sup>5</sup> The year-to-date months of inventory figure is calculated as: average active listings from January to current month / average sales from January to current month.

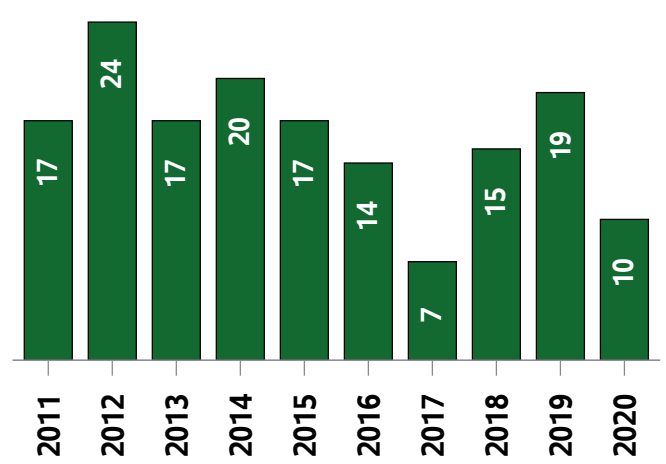
<sup>6</sup> Sales to new listings ratio, months of inventory and median days on market shown as levels; all others calculated as percentage changes.

## Nelson MLS® Residential Market Activity

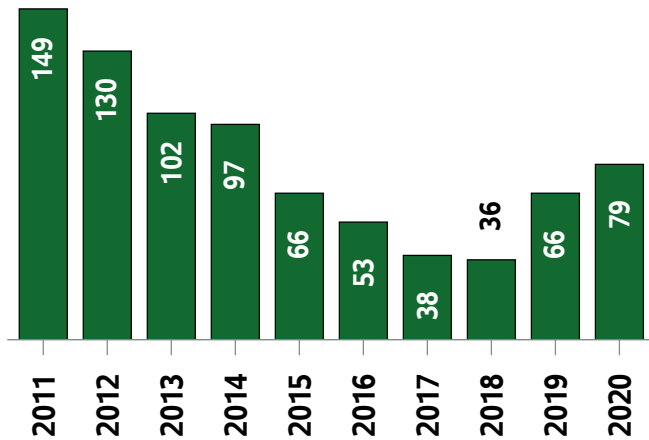
Sales Activity (October only)



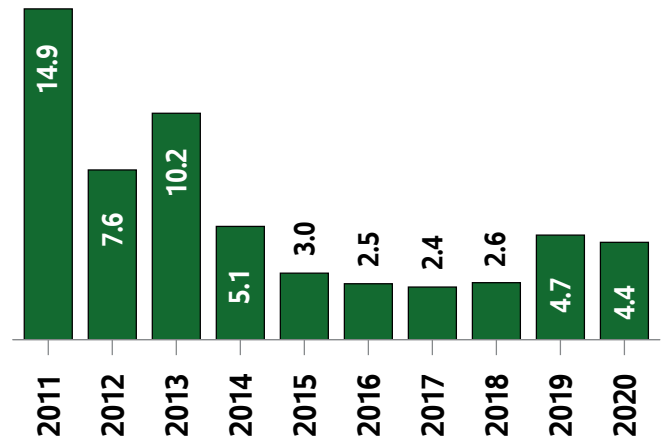
New Listings (October only)



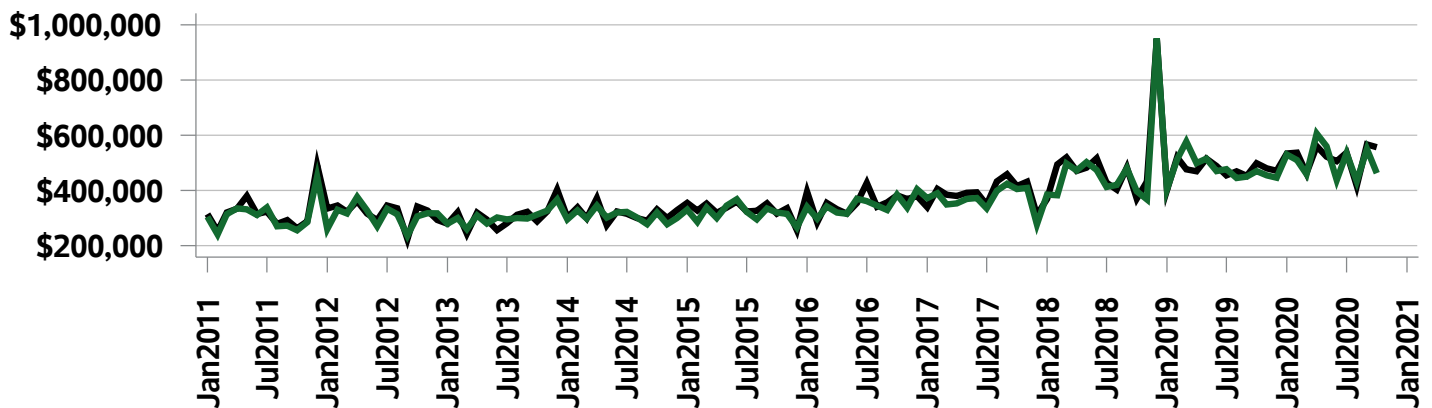
Active Listings (October only)



Months of Inventory (October only)

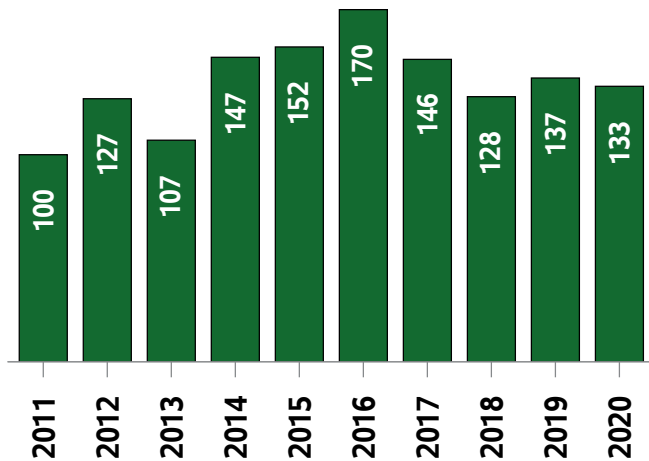


Average Price and Median Price

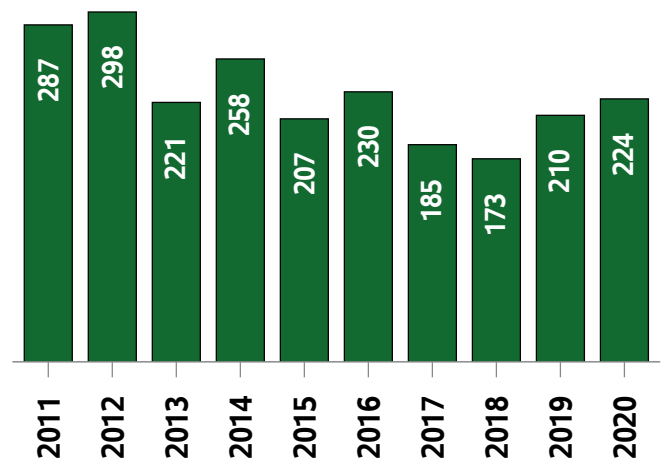


# Nelson MLS® Residential Market Activity

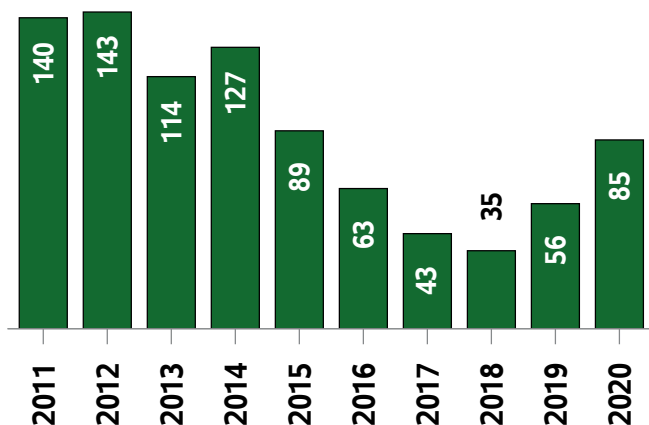
Sales Activity (October Year-to-date)



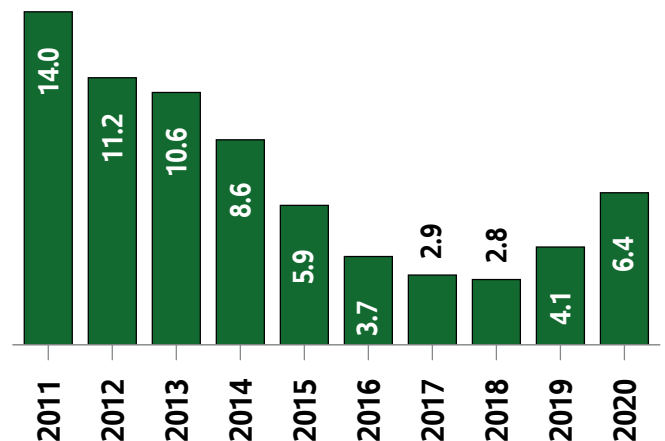
New Listings (October Year-to-date)



Active Listings <sup>1</sup> (October Year-to-date)



Months of Inventory <sup>2</sup> (October Year-to-date)



<sup>1</sup> The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year

<sup>2</sup> Average active listings January to the current month/average of sales January to the current month

# Nelson

## MLS® Residential Market Activity

Actual	October 2020	Compared to <sup>6</sup>					
		October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Sales Activity	18	28.6	28.6	12.5	-18.2	80.0	63.6
Dollar Volume	\$10,017,000	43.5	93.5	50.5	44.2	248.2	161.7
New Listings	10	-47.4	-33.3	42.9	-41.2	-41.2	-83.3
Active Listings	79	19.7	119.4	107.9	19.7	-22.5	-34.7
Sales to New Listings Ratio <sup>1</sup>	180.0	73.7	93.3	228.6	129.4	58.8	18.3
Months of Inventory <sup>2</sup>	4.4	4.7	2.6	2.4	3.0	10.2	11.0
Average Price	\$556,500	11.6	50.5	33.8	76.3	93.4	59.9
Median Price	\$462,500	-1.6	16.5	14.2	44.5	48.0	40.2
Sales to List Price Ratio	101.1	97.9	94.8	98.3	97.2	94.3	96.0
Median Days on Market	38.0	66.0	54.5	62.0	59.5	83.0	104.0
Year-to-date	October 2020	Compared to <sup>6</sup>					
		October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Sales Activity	133	-2.9	3.9	-8.9	-12.5	24.3	35.7
Dollar Volume	\$68,837,678	5.8	18.6	18.2	35.2	114.1	109.9
New Listings	224	6.7	29.5	21.1	8.2	1.4	-23.0
Active Listings <sup>3</sup>	85	50.9	141.8	98.4	-4.6	-25.1	8.8
Sales to New Listings Ratio <sup>4</sup>	59.4	65.2	74.0	78.9	73.4	48.4	33.7
Months of Inventory <sup>5</sup>	6.4	4.1	2.8	2.9	5.9	10.6	8.0
Average Price	\$517,577	9.0	14.1	29.7	54.5	72.2	54.7
Median Price	\$485,000	4.3	9.4	26.1	49.1	62.2	49.8
Sales to List Price Ratio	98.6	98.1	98.7	99.0	96.0	95.6	96.8
Median Days on Market	35.0	45.0	38.5	32.5	68.0	87.0	29.0

<sup>1</sup> Sales / new listings \* 100; Compared to levels from previous periods.

<sup>2</sup> Active listings at month end / monthly sales; Compared to levels from previous periods.

<sup>3</sup> The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year.

<sup>4</sup> Sum of sales from January to current month / sum of new listings from January to current month.

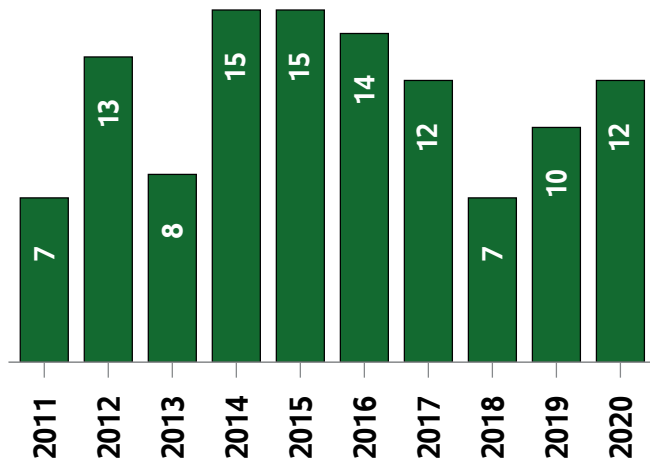
<sup>5</sup> The year-to-date months of inventory figure is calculated as: average active listings from January to current month / average sales from January to current month.

<sup>6</sup> Sales to new listings ratio, months of inventory and median days on market shown as levels; all others calculated as percentage changes.

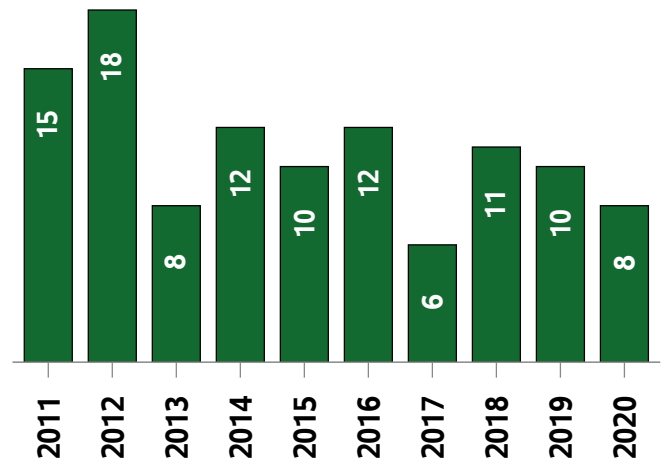


## Nelson MLS® Single Family Market Activity

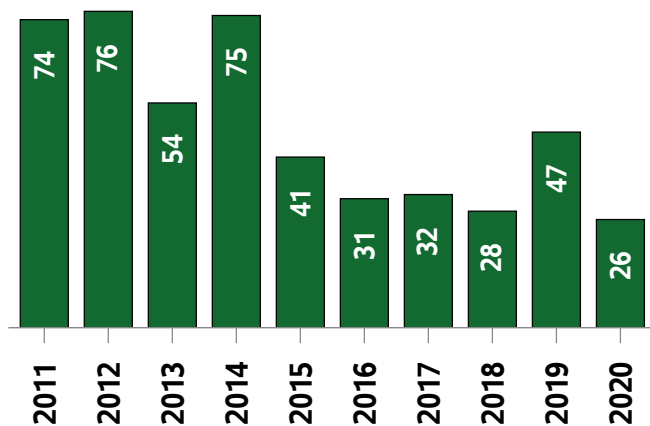
Sales Activity (October only)



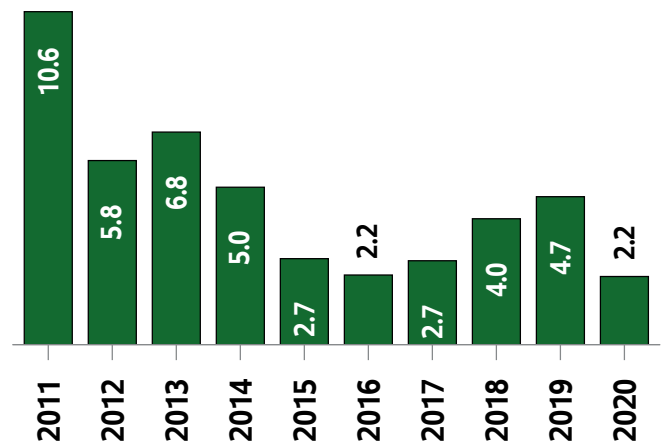
New Listings (October only)



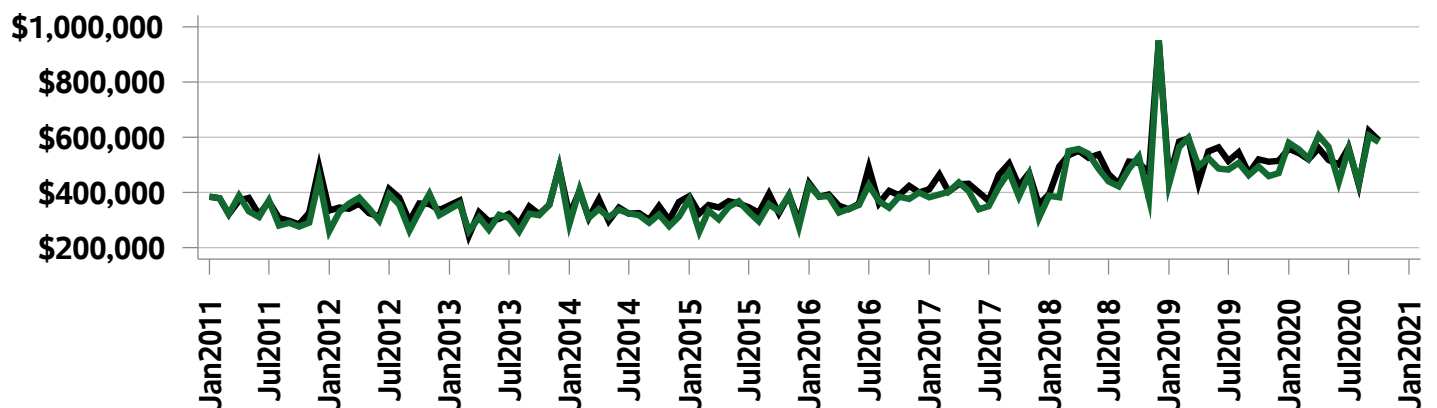
Active Listings (October only)



Months of Inventory (October only)

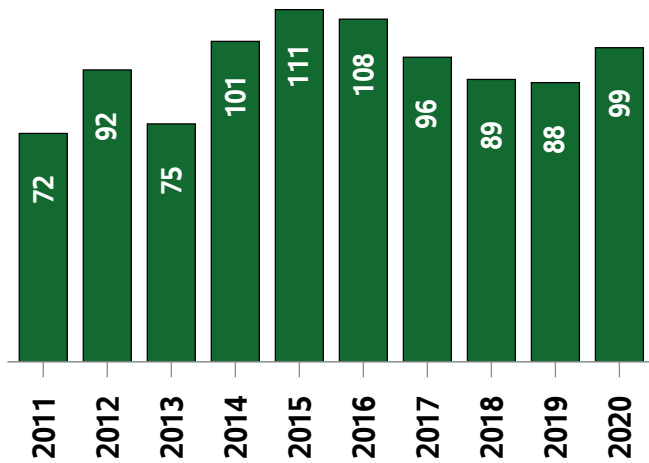


Average Price and Median Price

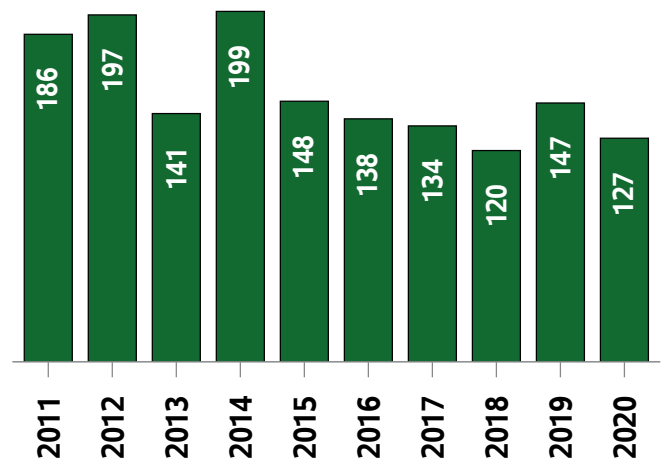


## Nelson MLS® Single Family Market Activity

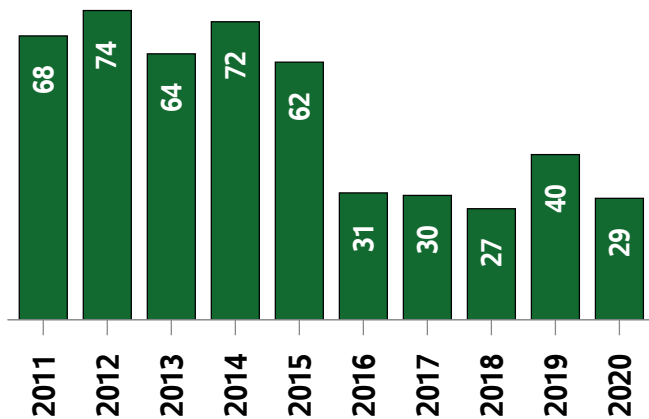
Sales Activity (October Year-to-date)



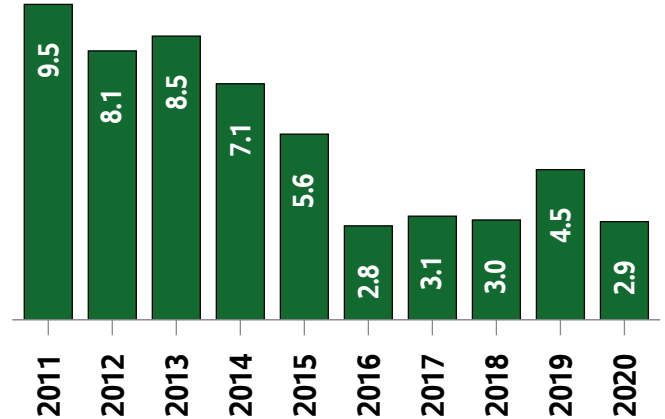
New Listings (October Year-to-date)



Active Listings <sup>1</sup> (October Year-to-date)



Months of Inventory <sup>2</sup> (October Year-to-date)



<sup>1</sup> The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year

<sup>2</sup> Average active listings January to the current month/average of sales January to the current month

# Nelson

## MLS® Single Family Market Activity

Actual	October 2020	Compared to <sup>6</sup>					
		October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Sales Activity	12	20.0	71.4	0.0	-20.0	50.0	20.0
Dollar Volume	\$7,061,500	35.9	98.6	38.8	45.1	174.9	105.0
New Listings	8	-20.0	-27.3	33.3	-20.0	0.0	-11.1
Active Listings	26	-44.7	-7.1	-18.8	-36.6	-51.9	-49.0
Sales to New Listings Ratio <sup>1</sup>	150.0	100.0	63.6	200.0	150.0	100.0	111.1
Months of Inventory <sup>2</sup>	2.2	4.7	4.0	2.7	2.7	6.8	5.1
Average Price	\$588,458	13.2	15.9	38.8	81.3	83.3	70.9
Median Price	\$582,500	18.0	9.9	51.3	75.5	83.5	80.6
Sales to List Price Ratio	102.0	97.7	96.2	98.1	97.2	95.0	96.0
Median Days on Market	28.0	66.0	53.0	54.0	63.0	70.5	102.0
Year-to-date	October 2020	Compared to <sup>6</sup>					
		October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Sales Activity	99	12.5	11.2	3.1	-10.8	32.0	28.6
Dollar Volume	\$53,545,878	16.1	20.3	28.8	37.7	125.0	95.2
New Listings	127	-13.6	5.8	-5.2	-14.2	-9.9	-29.4
Active Listings <sup>3</sup>	29	-26.4	9.4	-2.3	-52.8	-54.3	-42.7
Sales to New Listings Ratio <sup>4</sup>	78.0	59.9	74.2	71.6	75.0	53.2	42.8
Months of Inventory <sup>5</sup>	2.9	4.5	3.0	3.1	5.6	8.5	6.6
Average Price	\$540,867	3.2	8.1	24.9	54.4	70.4	51.9
Median Price	\$543,800	8.3	12.1	31.4	59.9	72.6	62.3
Sales to List Price Ratio	98.5	97.8	98.9	99.2	96.0	95.4	96.9
Median Days on Market	32.0	42.5	40.0	31.5	74.0	71.0	23.0

<sup>1</sup> Sales / new listings \* 100; Compared to levels from previous periods.

<sup>2</sup> Active listings at month end / monthly sales; Compared to levels from previous periods.

<sup>3</sup> The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year.

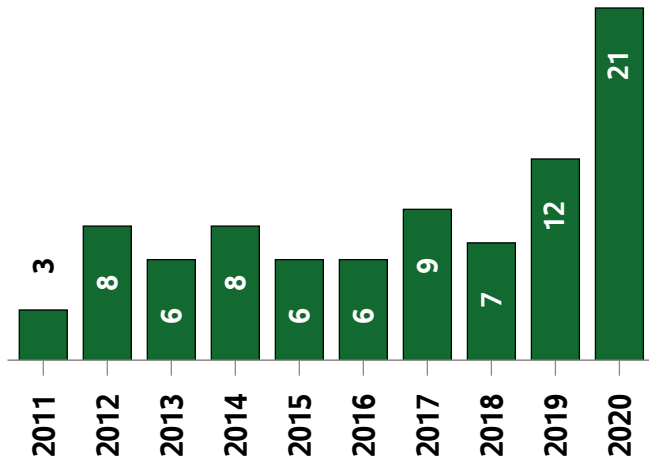
<sup>4</sup> Sum of sales from January to current month / sum of new listings from January to current month.

<sup>5</sup> The year-to-date months of inventory figure is calculated as: average active listings from January to current month / average sales from January to current month.

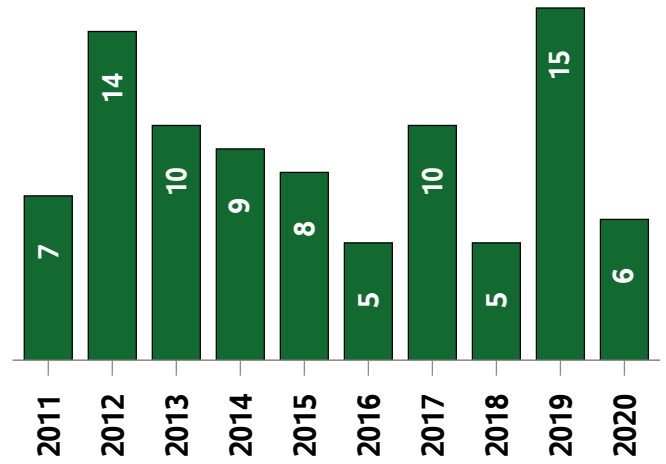
<sup>6</sup> Sales to new listings ratio, months of inventory and median days on market shown as levels; all others calculated as percentage changes.

## Rossland MLS® Residential Market Activity

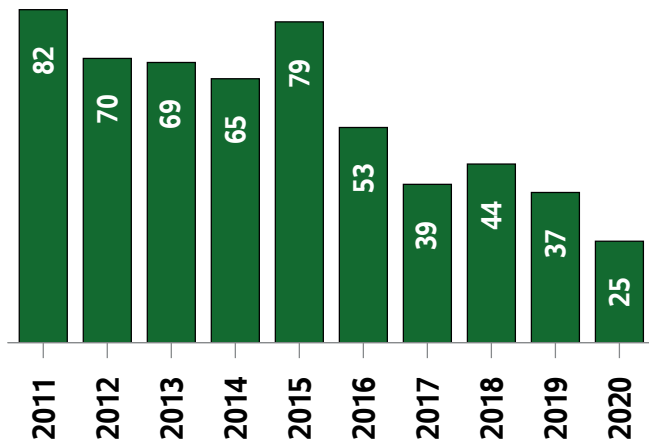
Sales Activity (October only)



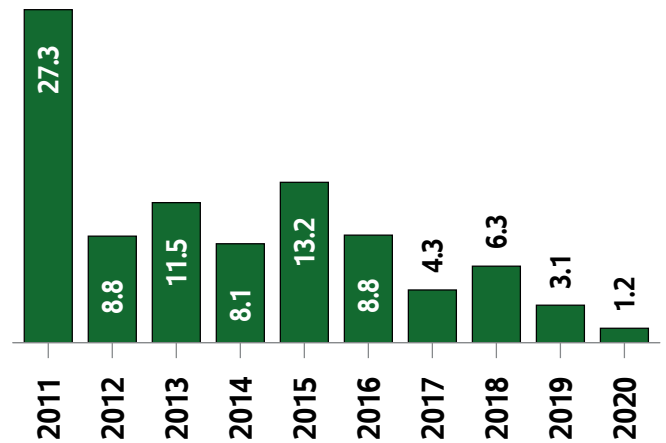
New Listings (October only)



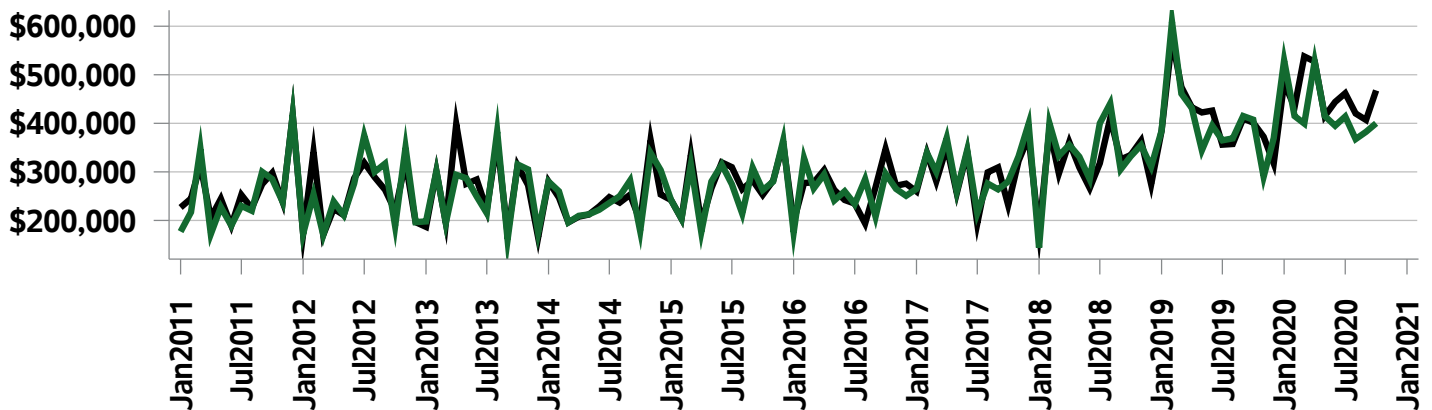
Active Listings (October only)



Months of Inventory (October only)



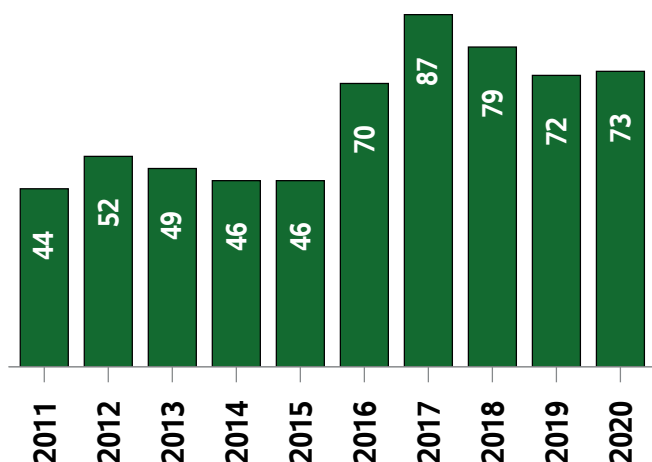
Average Price and Median Price



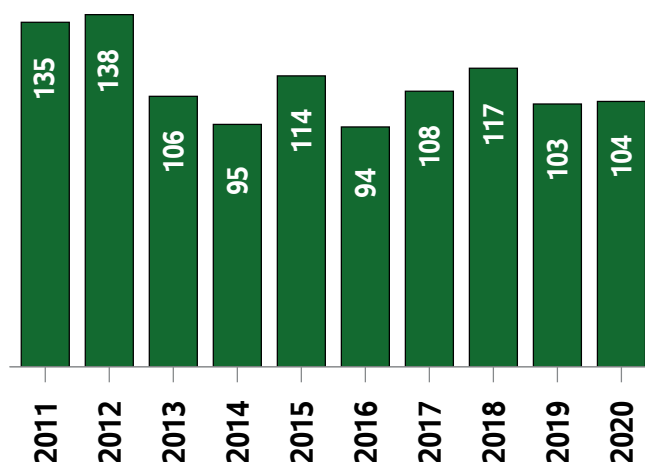
# Rossland

## MLS® Residential Market Activity

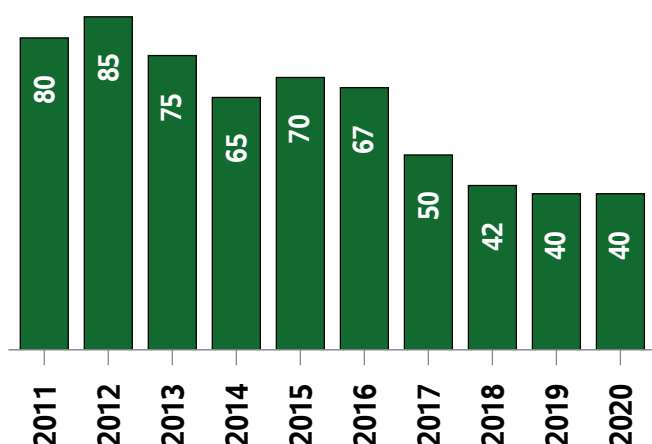
Sales Activity (October Year-to-date)



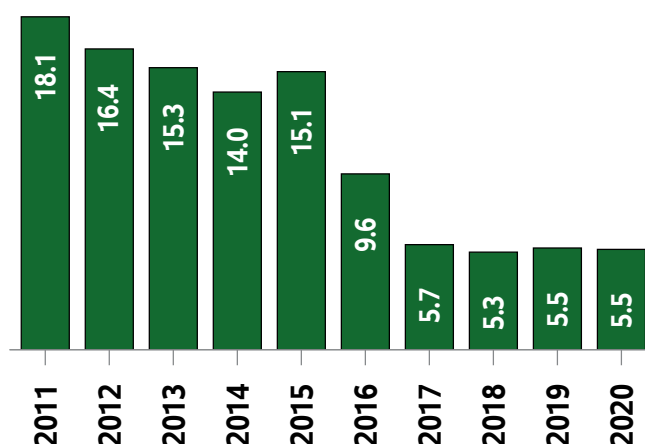
New Listings (October Year-to-date)



Active Listings <sup>1</sup> (October Year-to-date)



Months of Inventory <sup>2</sup> (October Year-to-date)



<sup>1</sup> The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year

<sup>2</sup> Average active listings January to the current month/average of sales January to the current month

# Rossland

## MLS® Residential Market Activity

Actual	October 2020	Compared to <sup>6</sup>					
		October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Sales Activity	21	75.0	200.0	133.3	250.0	250.0	425.0
Dollar Volume	\$9,823,733	103.9	319.3	371.1	548.0	423.0	1,038.0
New Listings	6	-60.0	20.0	-40.0	-25.0	-40.0	-33.3
Active Listings	25	-32.4	-43.2	-35.9	-68.4	-63.8	-59.0
Sales to New Listings Ratio <sup>1</sup>	350.0	80.0	140.0	90.0	75.0	60.0	44.4
Months of Inventory <sup>2</sup>	1.2	3.1	6.3	4.3	13.2	11.5	15.3
Average Price	\$467,797	16.5	39.8	101.9	85.1	49.4	116.8
Median Price	\$400,000	-1.8	20.5	42.9	52.4	26.9	80.5
Sales to List Price Ratio	99.0	99.8	93.2	96.0	96.2	95.9	95.4
Median Days on Market	64.0	33.5	56.0	61.0	124.5	125.0	128.5
Year-to-date	October 2020	Compared to <sup>6</sup>					
		October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Sales Activity	73	1.4	-7.6	-16.1	58.7	49.0	65.9
Dollar Volume	\$32,969,883	7.5	28.0	30.8	164.9	135.0	232.6
New Listings	104	1.0	-11.1	-3.7	-8.8	-1.9	-23.5
Active Listings <sup>3</sup>	40	0.0	-5.0	-19.9	-42.7	-46.9	-15.5
Sales to New Listings Ratio <sup>4</sup>	70.2	69.9	67.5	80.6	40.4	46.2	32.4
Months of Inventory <sup>5</sup>	5.5	5.5	5.3	5.7	15.1	15.3	10.7
Average Price	\$451,642	6.0	38.5	55.9	66.9	57.8	100.5
Median Price	\$400,000	2.6	19.0	43.9	46.8	57.8	81.8
Sales to List Price Ratio	98.1	97.6	96.8	96.3	94.7	94.2	95.8
Median Days on Market	66.0	62.5	52.0	63.0	97.0	94.0	30.0

<sup>1</sup> Sales / new listings \* 100; Compared to levels from previous periods.

<sup>2</sup> Active listings at month end / monthly sales; Compared to levels from previous periods.

<sup>3</sup> The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year.

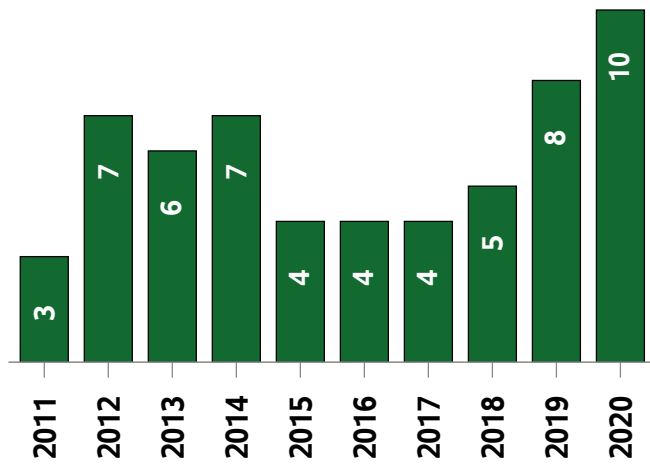
<sup>4</sup> Sum of sales from January to current month / sum of new listings from January to current month.

<sup>5</sup> The year-to-date months of inventory figure is calculated as: average active listings from January to current month / average sales from January to current month.

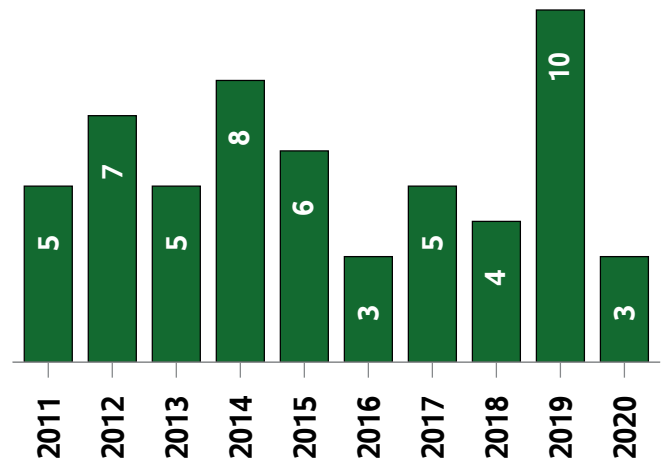
<sup>6</sup> Sales to new listings ratio, months of inventory and median days on market shown as levels; all others calculated as percentage changes.

## Rossland MLS® Single Family Market Activity

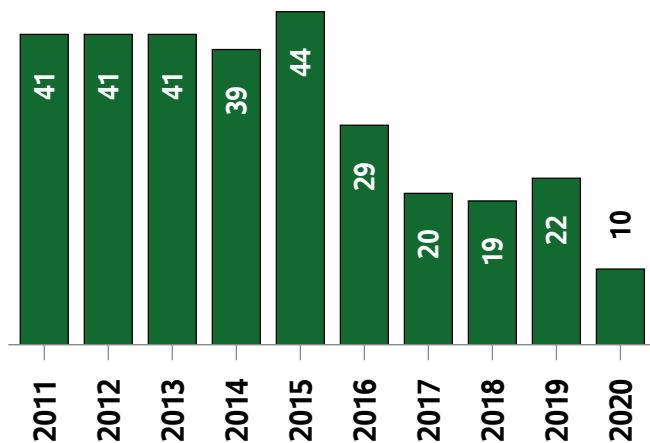
Sales Activity (October only)



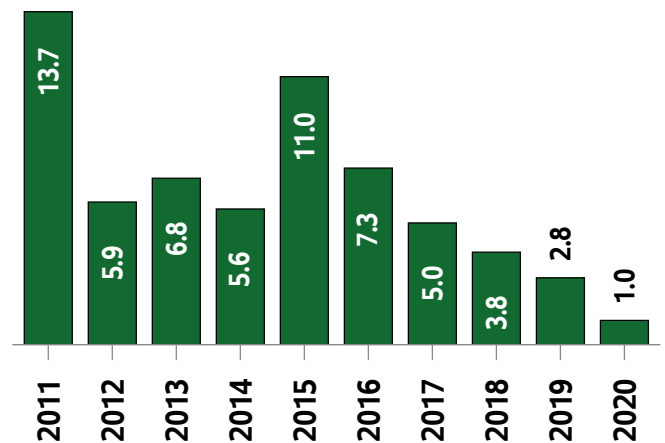
New Listings (October only)



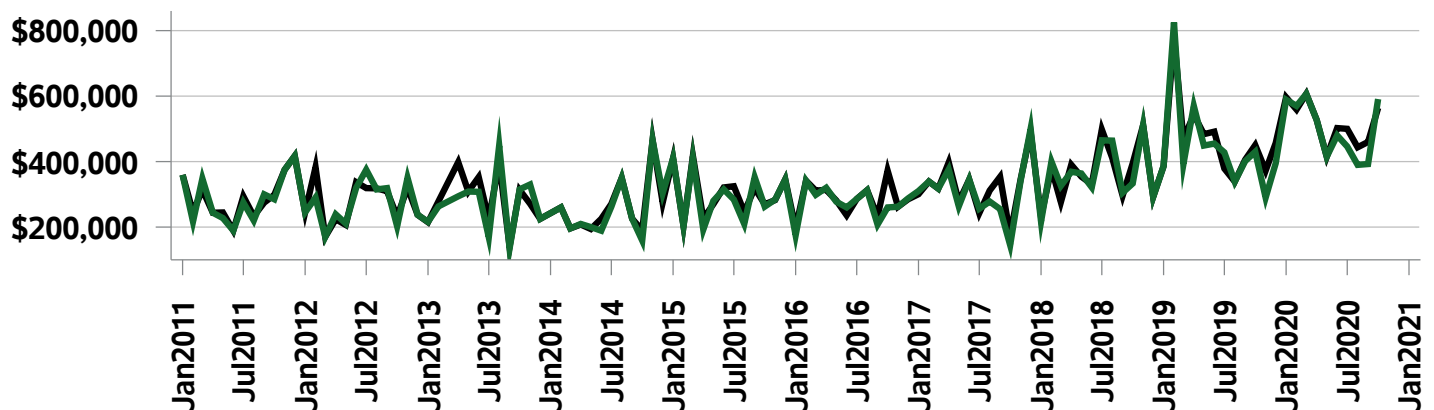
Active Listings (October only)



Months of Inventory (October only)

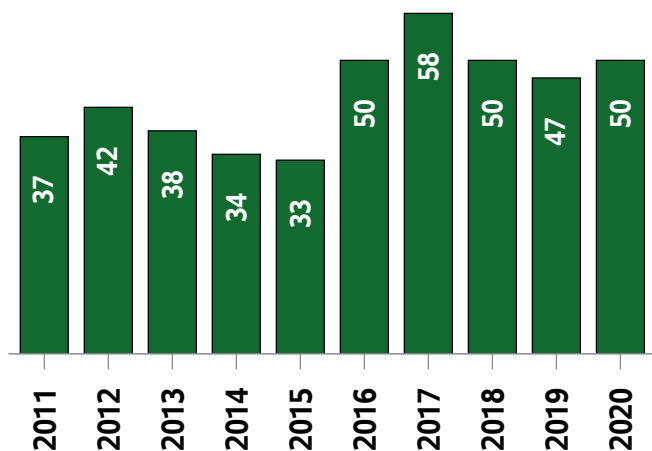


Average Price and Median Price

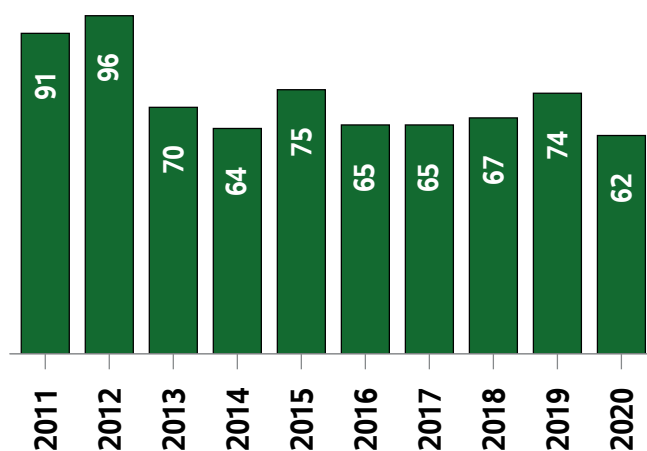


## Rossland MLS® Single Family Market Activity

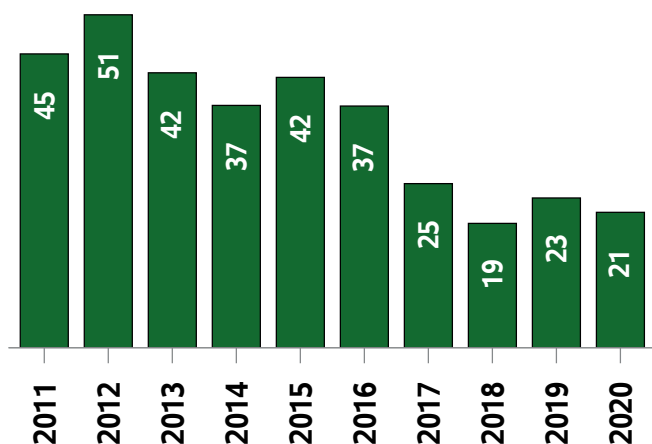
Sales Activity (October Year-to-date)



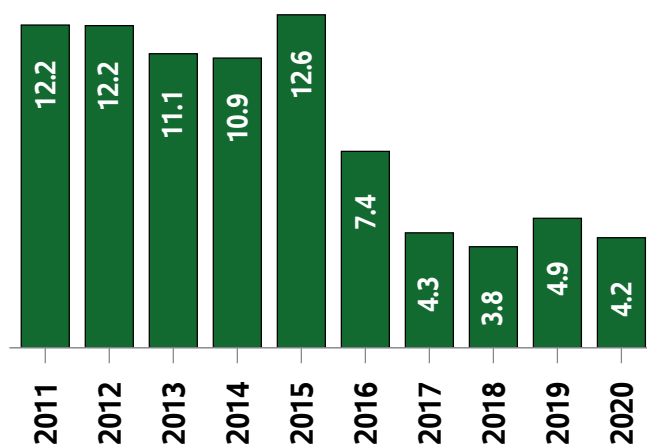
New Listings (October Year-to-date)



Active Listings <sup>1</sup> (October Year-to-date)



Months of Inventory <sup>2</sup> (October Year-to-date)



<sup>1</sup> The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year

<sup>2</sup> Average active listings January to the current month/average of sales January to the current month



# Rossland

## MLS® Single Family Market Activity

Actual	October 2020	Compared to <sup>6</sup>					
		October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Sales Activity	10	25.0	100.0	150.0	150.0	66.7	150.0
Dollar Volume	\$5,638,233	56.5	185.7	700.9	423.0	200.1	553.1
New Listings	3	-70.0	-25.0	-40.0	-50.0	-40.0	-50.0
Active Listings	10	-54.5	-47.4	-50.0	-77.3	-75.6	-73.7
Sales to New Listings Ratio <sup>1</sup>	333.3	80.0	125.0	80.0	66.7	120.0	66.7
Months of Inventory <sup>2</sup>	1.0	2.8	3.8	5.0	11.0	6.8	9.5
Average Price	\$563,823	25.2	42.9	220.4	109.2	80.1	161.3
Median Price	\$591,000	37.5	77.4	307.6	125.1	87.5	166.7
Sales to List Price Ratio	97.7	98.3	94.6	93.0	96.8	95.9	95.4
Median Days on Market	43.0	46.0	49.0	103.5	107.0	125.0	128.5
Year-to-date	October 2020	Compared to <sup>6</sup>					
		October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Sales Activity	50	6.4	0.0	-13.8	51.5	31.6	31.6
Dollar Volume	\$25,589,433	14.8	40.7	40.5	168.1	115.7	174.6
New Listings	62	-16.2	-7.5	-4.6	-17.3	-11.4	-33.3
Active Listings <sup>3</sup>	21	-9.6	8.9	-17.5	-49.9	-50.7	-28.5
Sales to New Listings Ratio <sup>4</sup>	80.6	63.5	74.6	89.2	44.0	54.3	40.9
Months of Inventory <sup>5</sup>	4.2	4.9	3.8	4.3	12.6	11.1	7.7
Average Price	\$511,789	7.9	40.7	63.0	76.9	63.9	108.7
Median Price	\$472,000	12.0	36.3	64.4	68.6	63.6	109.5
Sales to List Price Ratio	96.9	98.3	97.7	96.0	95.8	94.9	96.0
Median Days on Market	60.5	51.0	42.0	51.0	72.0	102.5	27.0

<sup>1</sup> Sales / new listings \* 100; Compared to levels from previous periods.

<sup>2</sup> Active listings at month end / monthly sales; Compared to levels from previous periods.

<sup>3</sup> The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year.

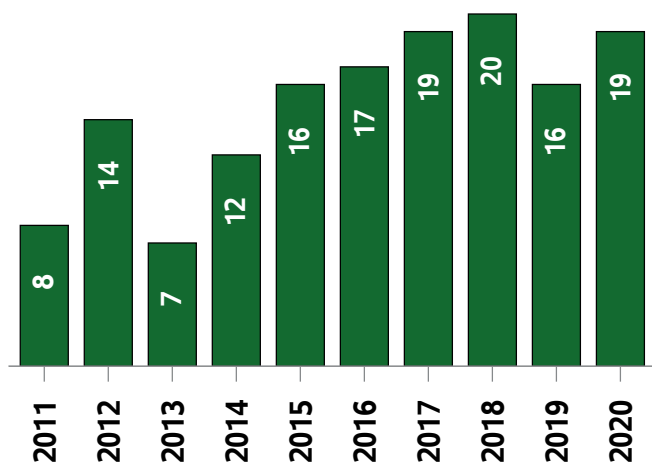
<sup>4</sup> Sum of sales from January to current month / sum of new listings from January to current month.

<sup>5</sup> The year-to-date months of inventory figure is calculated as: average active listings from January to current month / average sales from January to current month.

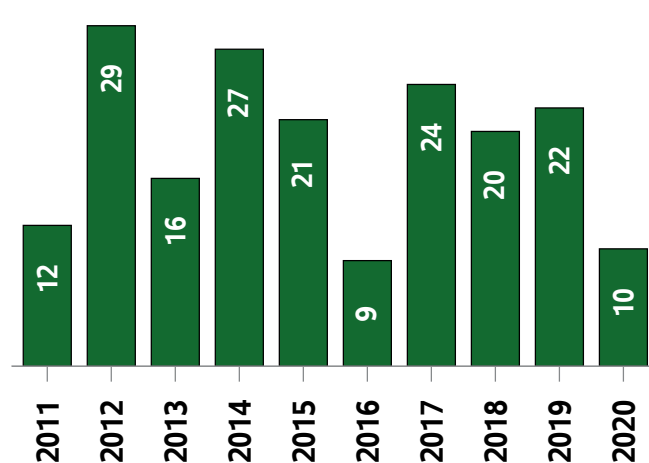
<sup>6</sup> Sales to new listings ratio, months of inventory and median days on market shown as levels; all others calculated as percentage changes.

## Trail MLS® Residential Market Activity

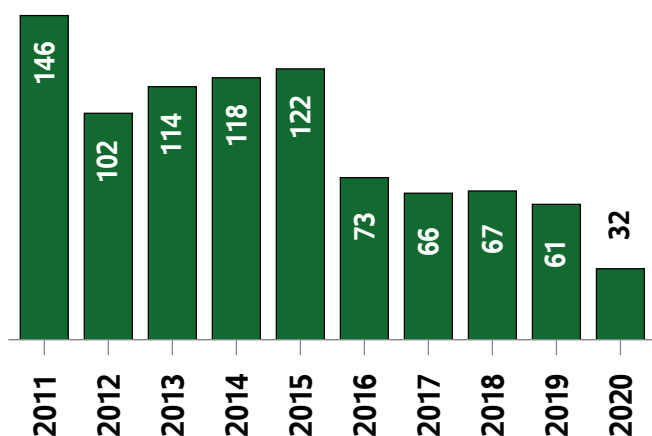
Sales Activity (October only)



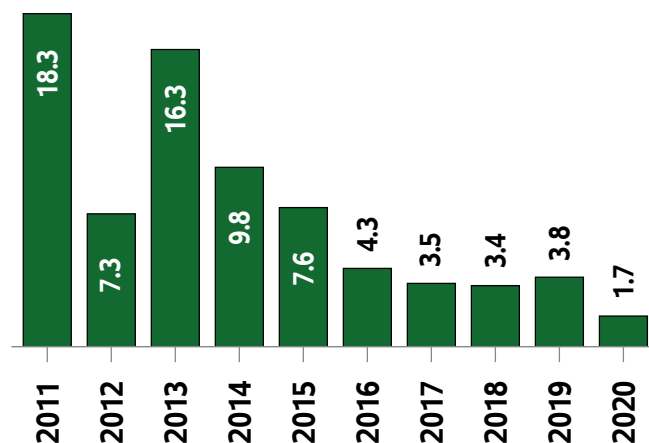
New Listings (October only)



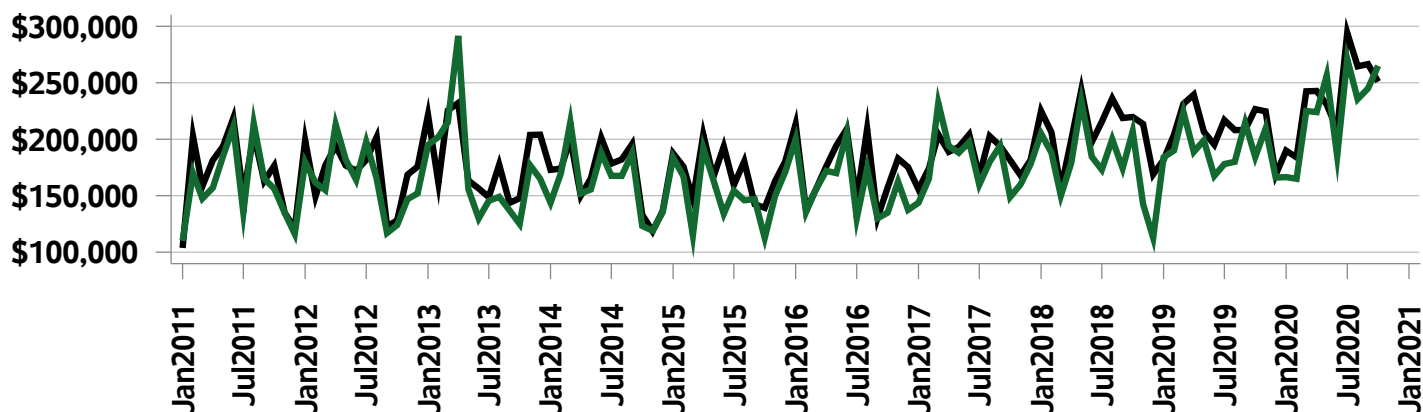
Active Listings (October only)



Months of Inventory (October only)

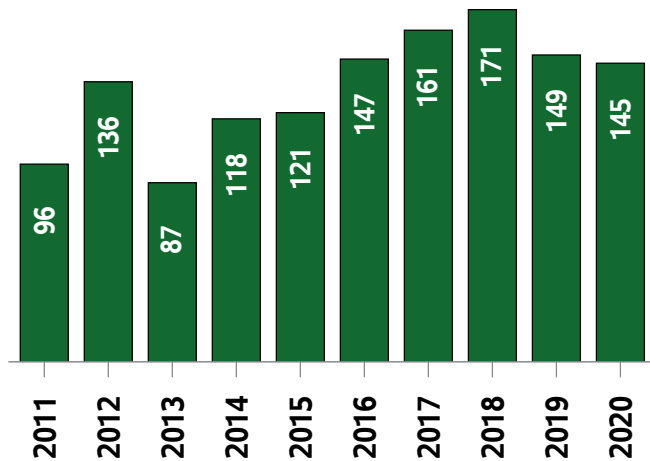


Average Price and Median Price

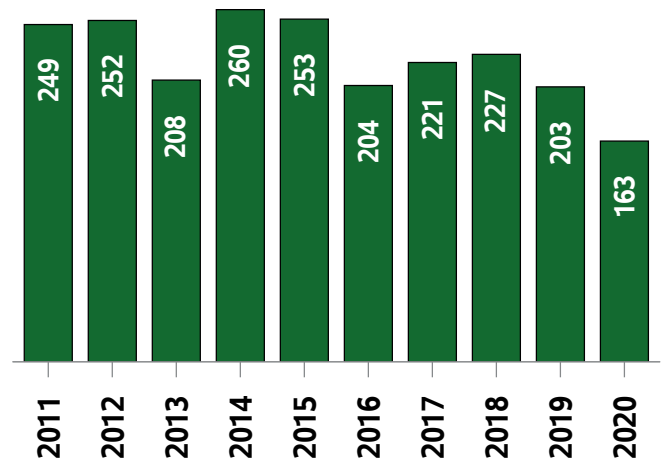


## MLS® Residential Market Activity

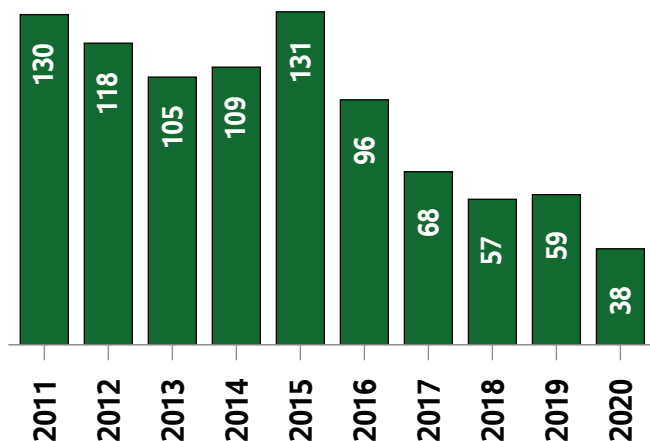
**Sales Activity (October Year-to-date)**



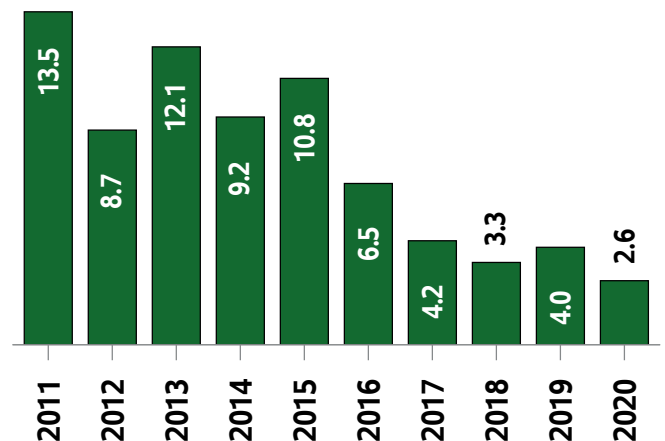
**New Listings (October Year-to-date)**



**Active Listings <sup>1</sup> (October Year-to-date)**



**Months of Inventory <sup>2</sup> (October Year-to-date)**



<sup>1</sup> The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year

<sup>2</sup> Average active listings January to the current month/average of sales January to the current month

# Trail MLS® Residential Market Activity

Actual	October 2020	Compared to <sup>6</sup>					
		October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Sales Activity	19	18.8	-5.0	0.0	18.8	171.4	35.7
Dollar Volume	\$4,768,000	31.5	8.5	38.4	114.0	361.2	63.7
New Listings	10	-54.5	-50.0	-58.3	-52.4	-37.5	-58.3
Active Listings	32	-47.5	-52.2	-51.5	-73.8	-71.9	-73.1
Sales to New Listings Ratio <sup>1</sup>	190.0	72.7	100.0	79.2	76.2	43.8	58.3
Months of Inventory <sup>2</sup>	1.7	3.8	3.4	3.5	7.6	16.3	8.5
Average Price	\$250,947	10.7	14.2	38.4	80.2	69.9	20.6
Median Price	\$265,000	43.8	28.0	78.1	135.4	112.0	20.2
Sales to List Price Ratio	97.5	97.0	96.1	95.0	91.7	91.4	91.7
Median Days on Market	28.0	32.5	45.0	77.0	139.5	47.0	81.5
Year-to-date	October 2020	Compared to <sup>6</sup>					
		October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Sales Activity	145	-2.7	-15.2	-9.9	19.8	66.7	74.7
Dollar Volume	\$35,326,876	11.8	-3.3	15.9	73.4	135.4	127.4
New Listings	163	-19.7	-28.2	-26.2	-35.6	-21.6	-37.3
Active Listings <sup>3</sup>	38	-36.0	-34.0	-44.5	-71.1	-64.1	-58.2
Sales to New Listings Ratio <sup>4</sup>	89.0	73.4	75.3	72.9	47.8	41.8	31.9
Months of Inventory <sup>5</sup>	2.6	4.0	3.3	4.2	10.8	12.1	10.9
Average Price	\$243,634	14.9	14.1	28.7	44.7	41.2	30.2
Median Price	\$225,000	19.2	20.3	26.4	48.0	44.2	29.3
Sales to List Price Ratio	96.7	96.1	97.1	95.0	93.5	94.6	93.8
Median Days on Market	37.0	46.0	38.0	59.0	95.0	56.0	39.0

<sup>1</sup> Sales / new listings \* 100; Compared to levels from previous periods.

<sup>2</sup> Active listings at month end / monthly sales; Compared to levels from previous periods.

<sup>3</sup> The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year.

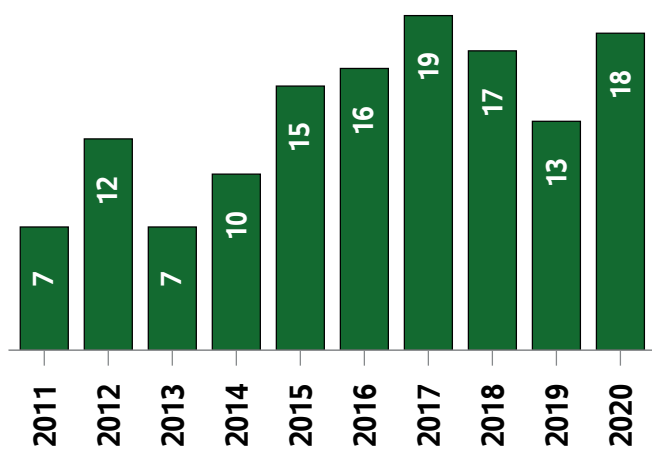
<sup>4</sup> Sum of sales from January to current month / sum of new listings from January to current month.

<sup>5</sup> The year-to-date months of inventory figure is calculated as: average active listings from January to current month / average sales from January to current month.

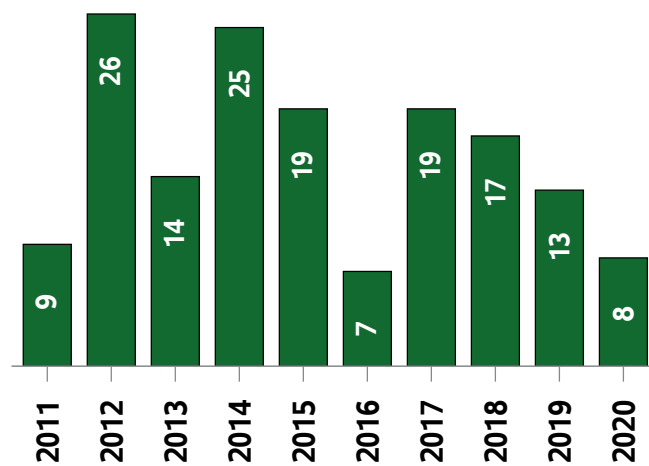
<sup>6</sup> Sales to new listings ratio, months of inventory and median days on market shown as levels; all others calculated as percentage changes.

## Trail MLS® Single Family Market Activity

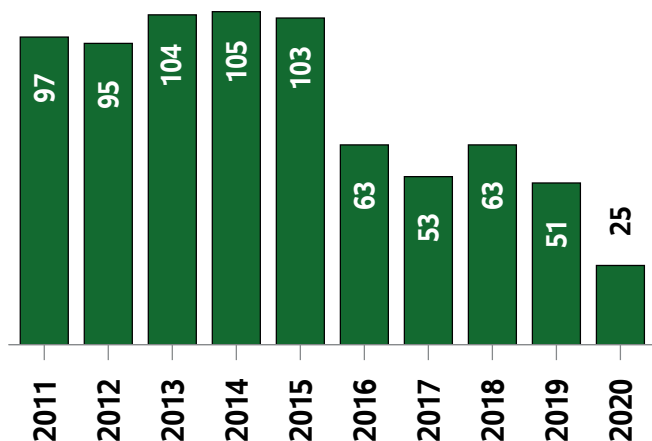
Sales Activity (October only)



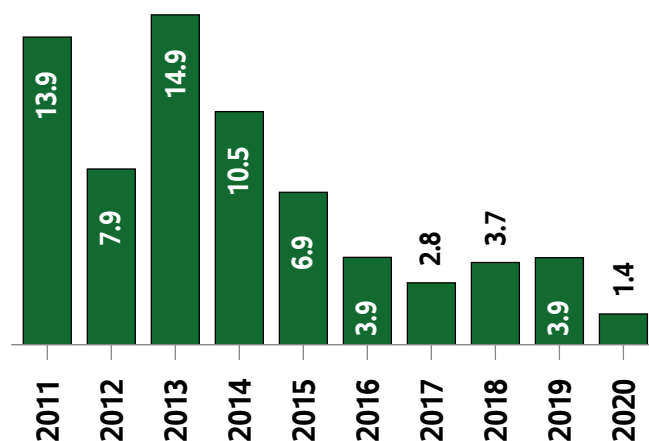
New Listings (October only)



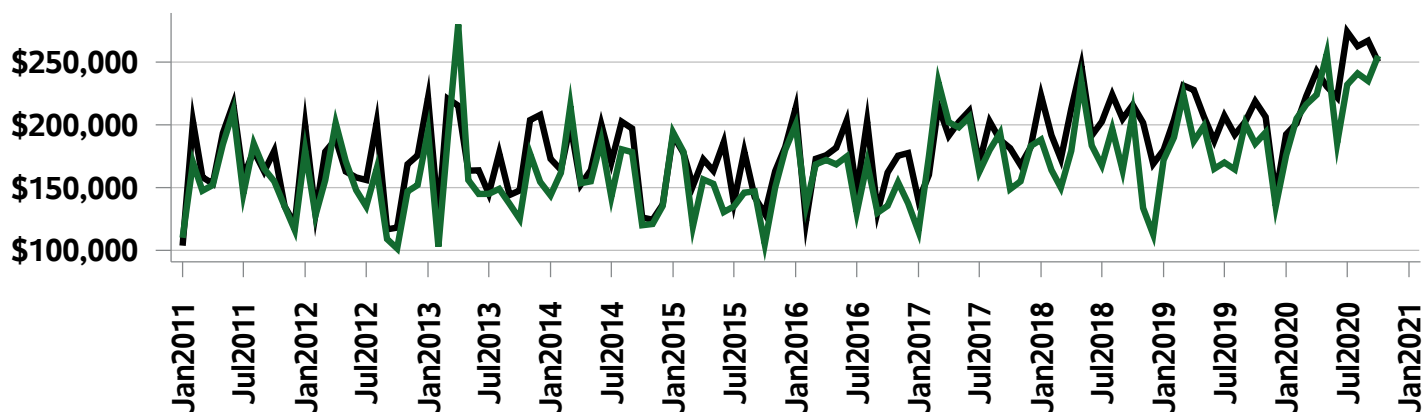
Active Listings (October only)



Months of Inventory (October only)

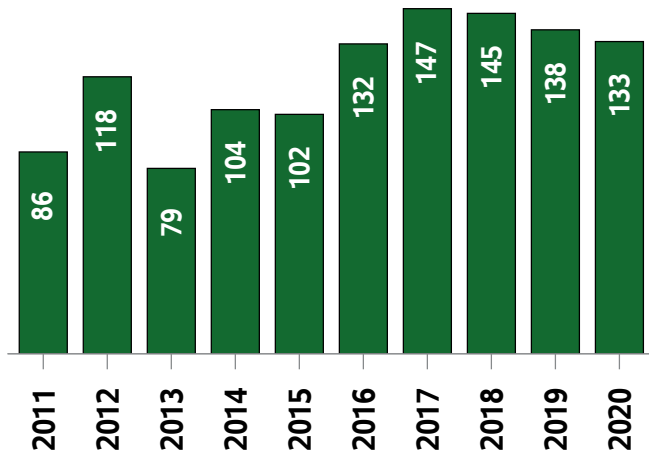


Average Price and Median Price

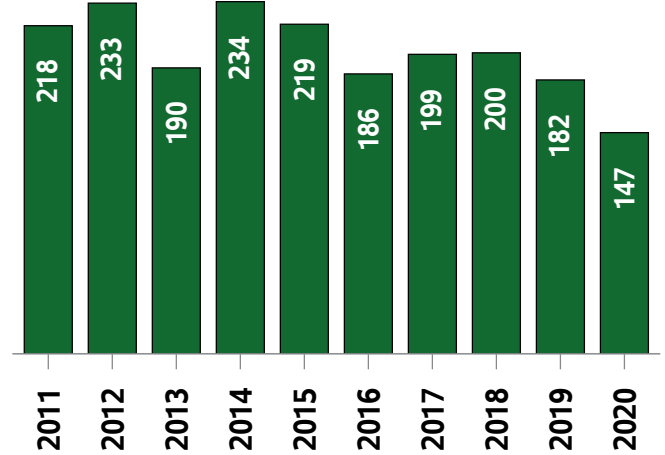


# Trail MLS® Single Family Market Activity

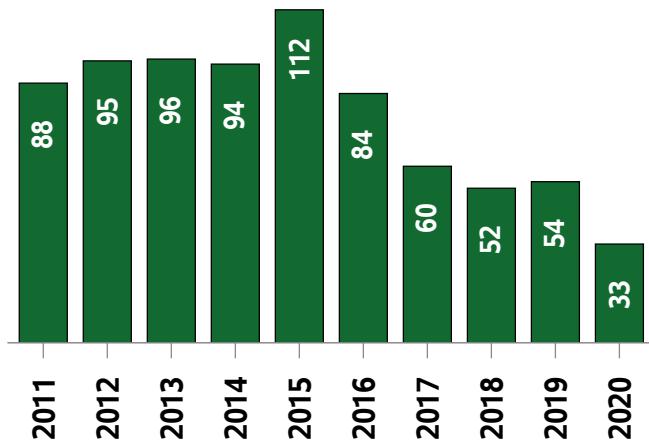
Sales Activity (October Year-to-date)



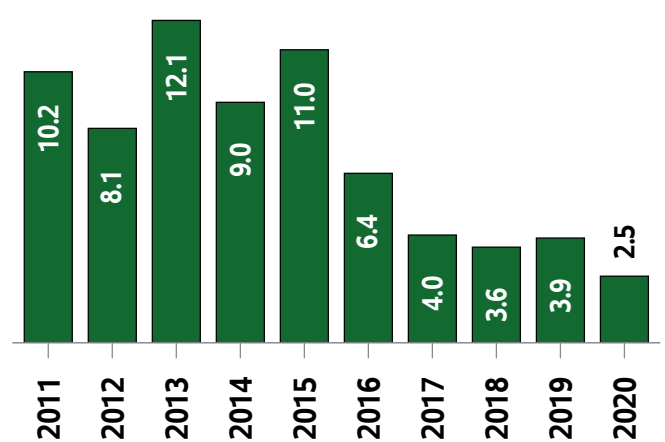
New Listings (October Year-to-date)



Active Listings <sup>1</sup> (October Year-to-date)



Months of Inventory <sup>2</sup> (October Year-to-date)



<sup>1</sup> The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year

<sup>2</sup> Average active listings January to the current month/average of sales January to the current month

# Trail

## MLS® Single Family Market Activity

Actual	October 2020	Compared to <sup>6</sup>					
		October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Sales Activity	18	38.5	5.9	-5.3	20.0	157.1	28.6
Dollar Volume	\$4,503,000	58.4	22.7	30.7	132.3	335.5	54.6
New Listings	8	-38.5	-52.9	-57.9	-57.9	-42.9	-61.9
Active Listings	25	-51.0	-60.3	-52.8	-75.7	-76.0	-67.5
Sales to New Listings Ratio <sup>1</sup>	225.0	100.0	100.0	100.0	78.9	50.0	66.7
Months of Inventory <sup>2</sup>	1.4	3.9	3.7	2.8	6.9	14.9	5.5
Average Price	\$250,167	14.4	15.9	37.9	93.6	69.4	20.3
Median Price	\$255,000	37.8	22.0	71.4	142.9	104.0	15.6
Sales to List Price Ratio	97.7	97.0	96.4	95.0	91.3	91.4	91.7
Median Days on Market	26.5	36.0	48.0	77.0	137.0	47.0	81.5
Year-to-date	October 2020	Compared to <sup>6</sup>					
		October 2019	October 2018	October 2017	October 2015	October 2013	October 2010
Sales Activity	133	-3.6	-8.3	-9.5	30.4	68.4	84.7
Dollar Volume	\$32,263,376	13.6	6.1	14.9	96.0	142.3	138.7
New Listings	147	-19.2	-26.5	-26.1	-32.9	-22.6	-25.4
Active Listings <sup>3</sup>	33	-38.7	-36.1	-44.0	-70.3	-65.2	-48.2
Sales to New Listings Ratio <sup>4</sup>	90.5	75.8	72.5	73.9	46.6	41.6	36.5
Months of Inventory <sup>5</sup>	2.5	3.9	3.6	4.0	11.0	12.1	8.9
Average Price	\$242,582	17.8	15.6	27.0	50.3	43.9	29.2
Median Price	\$225,000	22.0	23.3	25.0	57.9	51.0	28.9
Sales to List Price Ratio	96.6	95.9	97.2	94.9	93.3	94.6	93.7
Median Days on Market	35.0	47.5	38.0	56.0	94.5	53.0	39.0

<sup>1</sup> Sales / new listings \* 100; Compared to levels from previous periods.

<sup>2</sup> Active listings at month end / monthly sales; Compared to levels from previous periods.

<sup>3</sup> The year-to-date active listings figure is a monthly average of the number of homes on the market at the end of each month so far this year.

<sup>4</sup> Sum of sales from January to current month / sum of new listings from January to current month.

<sup>5</sup> The year-to-date months of inventory figure is calculated as: average active listings from January to current month / average sales from January to current month.

<sup>6</sup> Sales to new listings ratio, months of inventory and median days on market shown as levels; all others calculated as percentage changes.